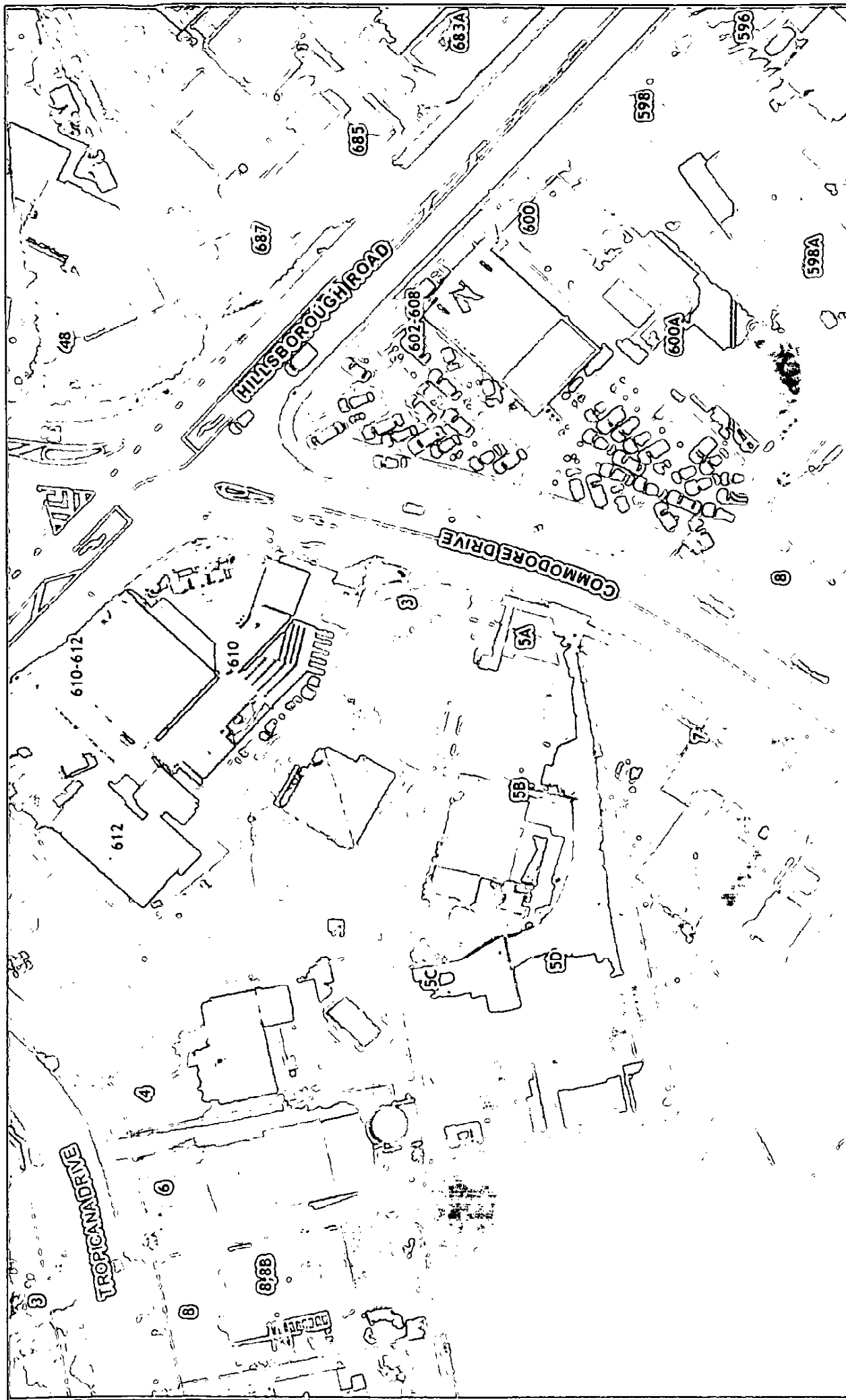




Auckland Council
By Appointment to Her Excellency the Governor-General

AUCKLAND COUNCIL

3 Commodore Drive

Scale @ A3 1:500

This map is a "just as it is" map and is not intended to be used for any other purpose. It is not a legal document and does not constitute a guarantee of accuracy. The map is based on information provided by the Auckland Council and is not intended to be used for any other purpose. The map is not a legal document and does not constitute a guarantee of accuracy. The map is based on information provided by the Auckland Council and is not intended to be used for any other purpose.

Created: Monday, 8 June 2015 5:32:26 p.m.

NOTES:

- 1) Origin of Levels is Survey Standard RM 3 SO 44672 with a Reduced Level of 30.27 metres above mean sea level. Land information New Zealand, Auckland Vertical Datum 1946.
- 2) Spot Heights are shown thus: ± 23.58
- 3) Contour interval is 0.2m.
- 4) BODY - Boundary FCR - From Council Records
SSMH - Sewer Mainhole LL - Lid Level
SWMH - Stormwater Mainhole IL - Invert Level

**APPROVED
RESOURCE CONSENTS**
14 AUG 2015
AUCKLAND COUNCIL

CJL Construction

SITE SURVEY
3 COMMODORE DRIVE
LYNFIELD

Being: Lot 18 DP 36287

Comprised in CFR: NA934/165

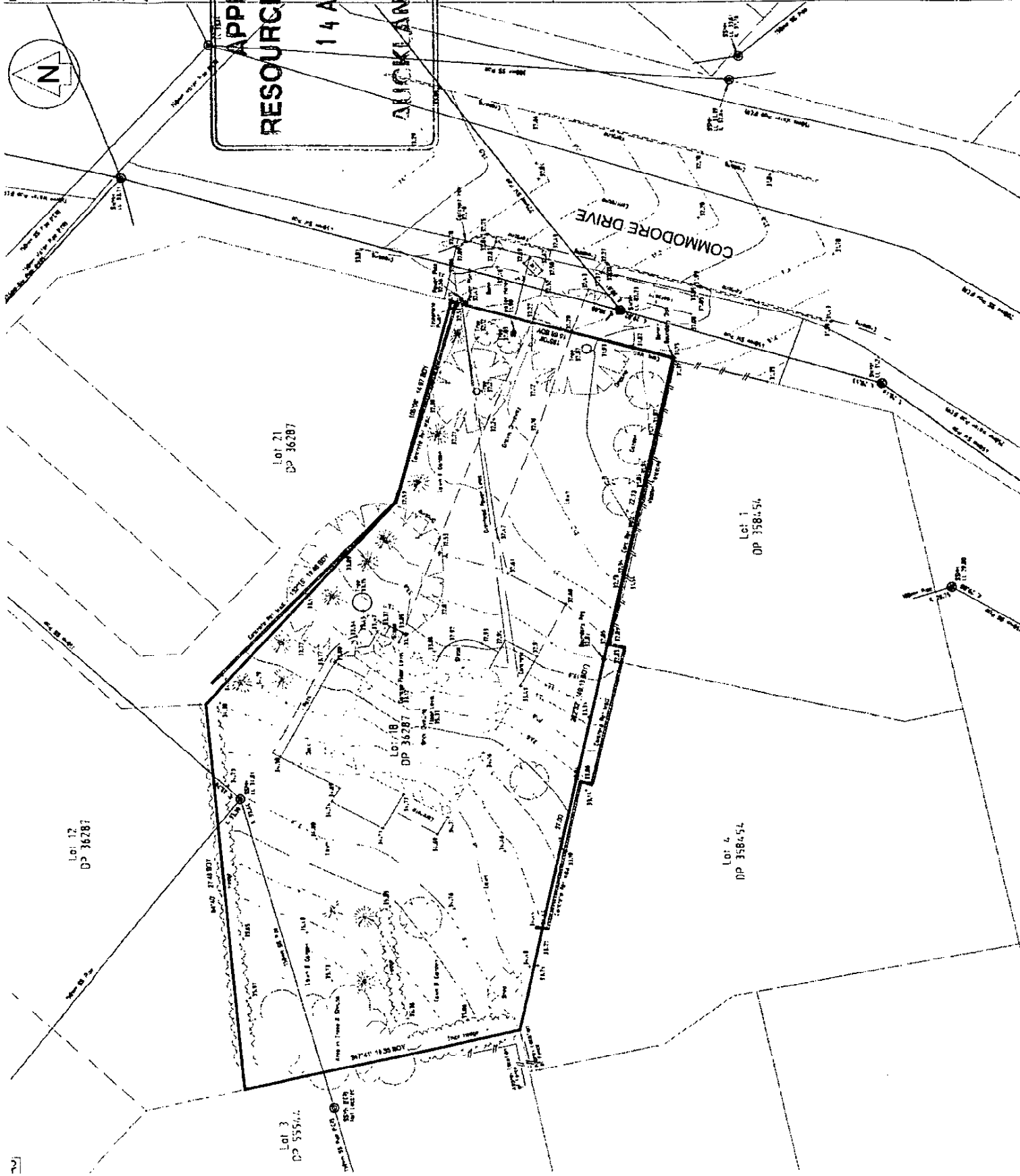
Total Area (By Title) = 1088m²

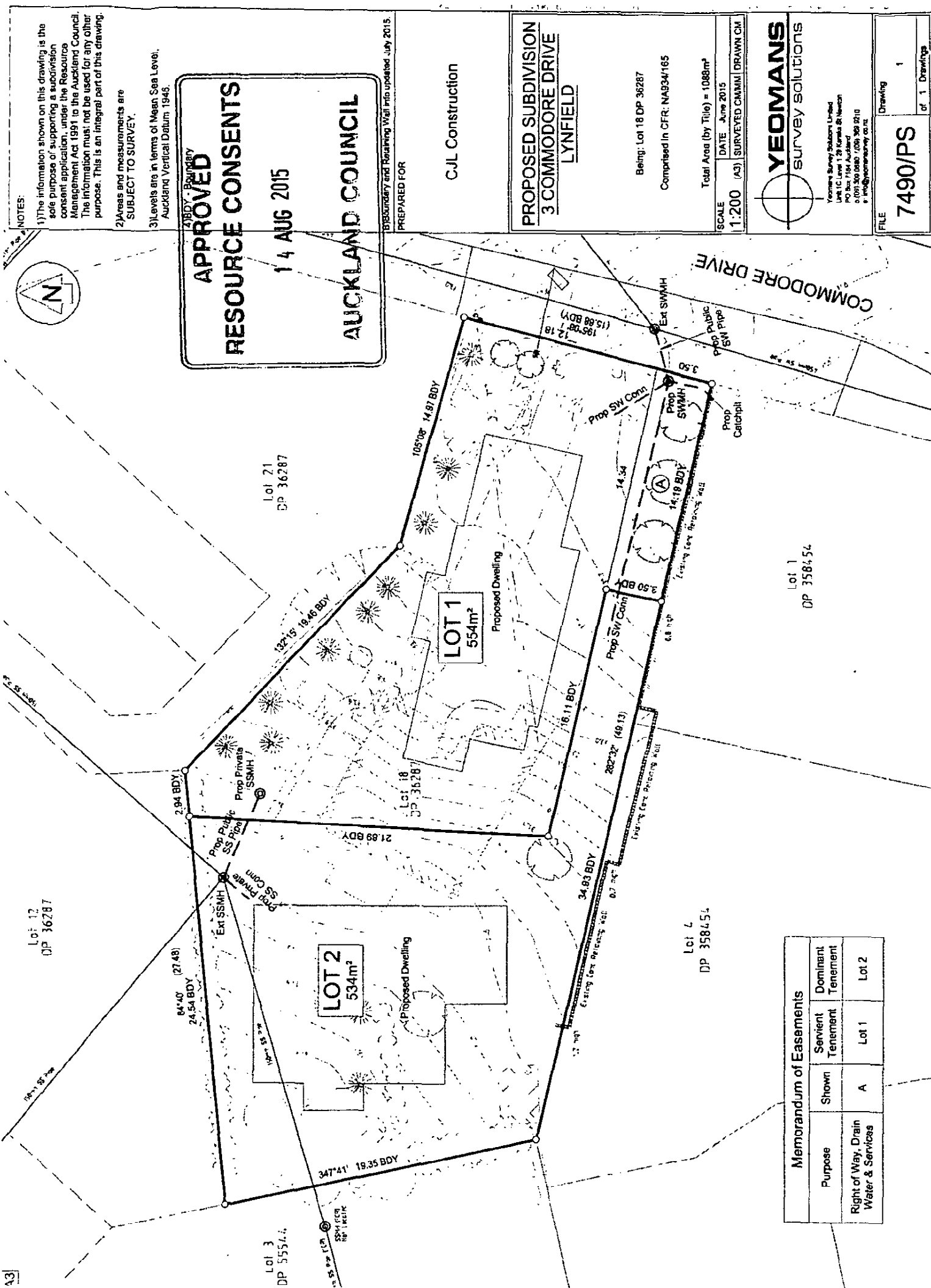
SCALE **1:250** (A3) DATE May 2015 SURVEYED MAM/CM DRAWN CM



Yeomans Survey Solutions Limited
Unit 10 Level 1 25 Kereka St Nelson
PO Box 7114 Auckland
Phone 09 486 6666 Email info@yeomanssurvey.co.nz

FILE **7490/SS**
Drawing **1**
of 1 Drawings





NOTES:

- 1) The information shown on this drawing is the sole purpose of supporting a subdivision consent application, under the Resource Management Act 1991 to the Auckland Council. The information must not be used for any other purpose. This is an integral part of this drawing.
- 2) Areas and measurements are SUBJECT TO SURVEY.
- 3) Levels are in terms of Mean Sea Level, Auckland Vertical Datum 1946.

**APPROVED
RESOURCE CONSENTS**
14 AUG 2015
AUCKLAND COUNCIL

18 Boundary and Retaining Wall info updated July 2015.
PREPARED FOR

CJL Construction

**PROPOSED SUBDIVISION
3 COMMODORE DRIVE
LYNFIELD**

Being: Lot 18 DP 36287
Comprised in CFR: NA934/165

Total Area (by Title) = 1088m²

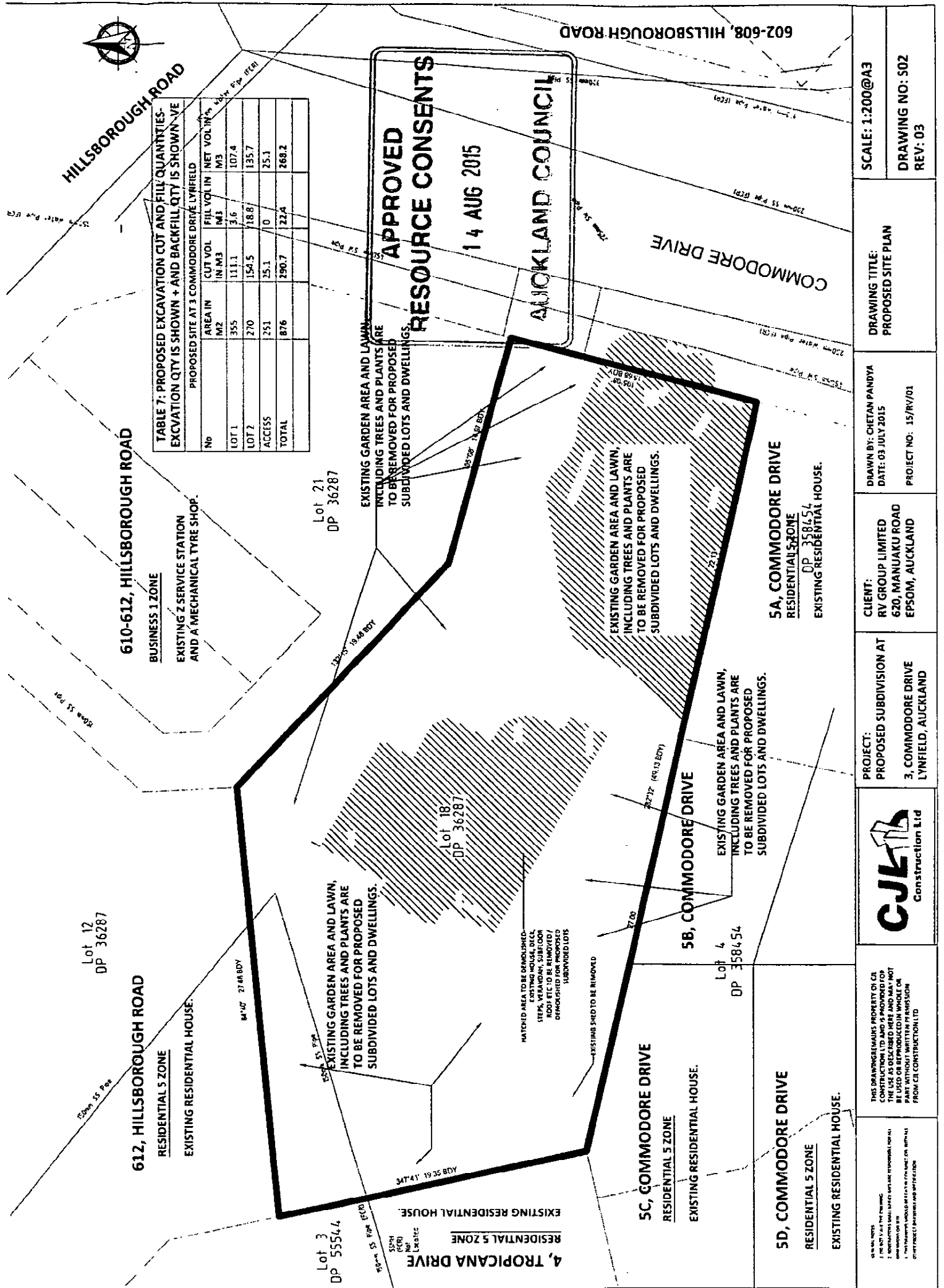
SCALE 1:200 DATE June 2015
(A3) SURVEYED CHMMI DRAWN CM



Yeomans Survey Solutions Limited
Unit 1C Level 1 28 Kumeu St Newmarket
PO Box 1164 Auckland
0 (09) 300 0080 / 09 300 0210
e info@yeomansurvey.co.nz

FILE 7490/PS
Drawing 1
of 1 Drawings

Memorandum of Easements			
Purpose	Shown	Servient Tenement	Dominant Tenement
Right of Way, Drain Water & Services	A	Lot 1	Lot 2



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PROJECT:
PROPOSED SUBDIVISION AT
3, COMMODORE DRIVE
LYNFIELD, AUCKLAND

CLIENT:
RV GROUP LIMITED
620, MANUKU ROAD
EPSOM, AUCKLAND

DRAWN BY: CHETAN PANDYA
DATE: 03 JULY 2015
PROJECT NO: 15/RV/01

DRAWING TITLE:
PROPOSED SITE PLAN

SCALE: 1:200@A3
DRAWING NO: 502
REV: 03

NOTE:

- LOCATION OF SITE BOUNDARY AND LOT AREAS ARE INDICATIVE AND SHALL NOT BE USED FOR SURVEYING OR ANY LEGAL SETOUT AND OR MARKINGS.
- PLEASE REFER TO YEOMAN SURVEYOR'S SCHEME PLAN FOR ALL SETOUT AND LEGAL MARKINGS DETAILS
- FOR ALL CONSTRUCTION PURPOSE, YEOMAN SURVEYOR'S SURVEY AND SCHEME PLANS ARE TO BE USED.

Lot 21
DP 36287

NOTE

- PLEASE REFER TO AIREY CONSULTANT'S DRAINAGE PLAN FOR MORE DETAILS
- FOR ALL CONSTRUCTION PURPOSE, DRAINAGE PLAN PREPARED BY AIREY CONSULTING IS TO BE USED.

**APPROVED
RESOURCE CONSENTS**
14 AUG 2015
AUCKLAND COUNCIL

CRITICAL PLANE

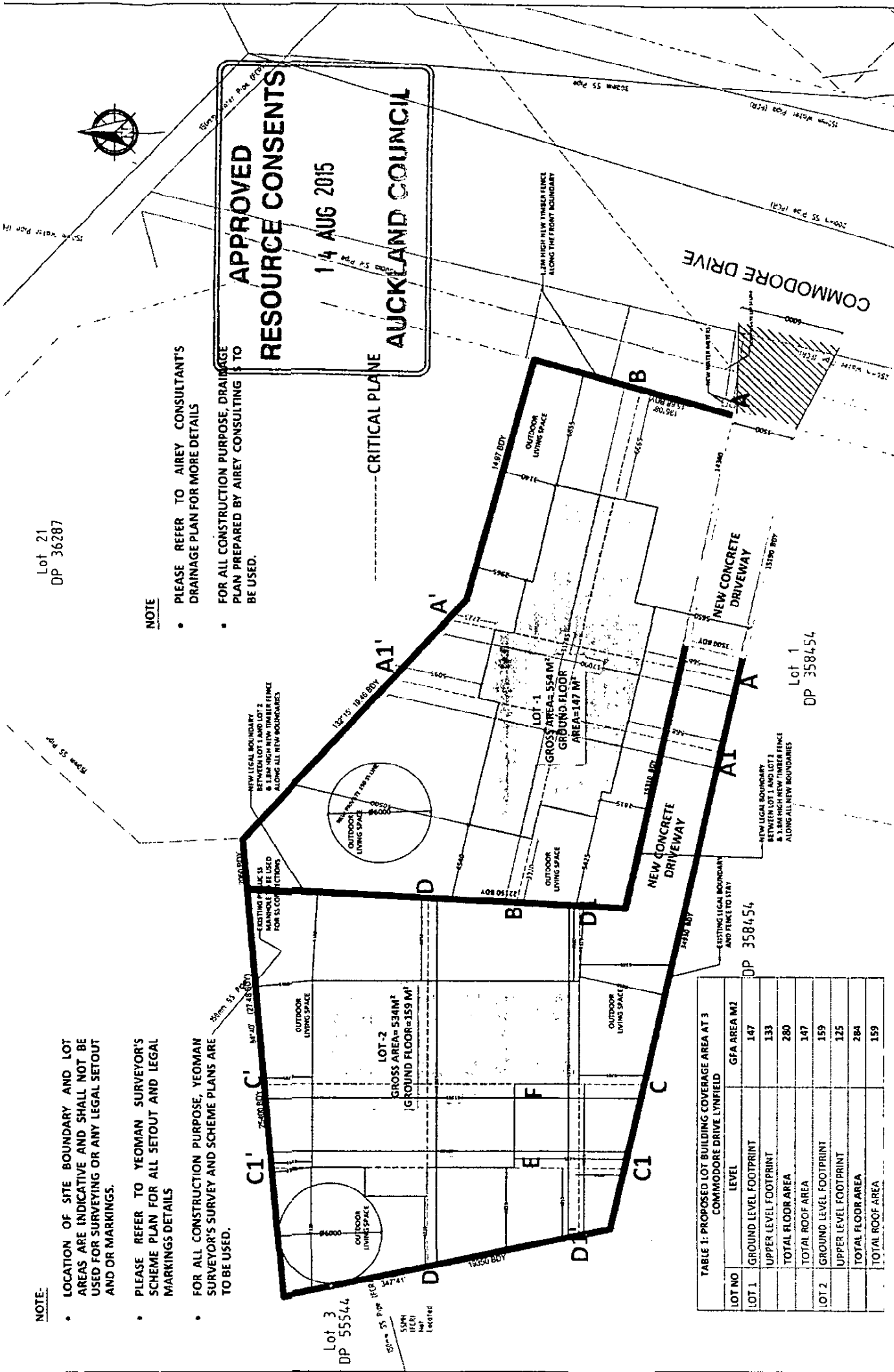


TABLE 1: PROPOSED LOT BUILDING COVERAGE AREA AT 3
COMMODORE DRIVE LYNFIELD

LOT NO	LEVEL	GFA AREA M2
LOT 1	GROUND LEVEL FOOTPRINT	147
	UPPER LEVEL FOOTPRINT	133
	TOTAL FLOOR AREA	280
LOT 2	TOTAL ROOF AREA	147
	GROUND LEVEL FOOTPRINT	159
	UPPER LEVEL FOOTPRINT	125
	TOTAL FLOOR AREA	284
	TOTAL ROOF AREA	159



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MOBILE: 021 174 174

PREPARED BY: [Name]
DRAWN BY: CHETAN PANDYA
CHECKED BY: [Name]
DATE: 28 JULY 2015
PROJECT NO: 15/RV/01
DRAWING NO: S02A
REV: 04

PROJECT:
PROPOSED SUBDIVISION AT
3, COMMODORE DRIVE
LYNFIELD, AUCKLAND

CLIENT:
RV GROUP LIMITED
620, MANUAKU ROAD
EPSOM, AUCKLAND

DRAWN BY: CHETAN PANDYA
DATE: 28 JULY 2015
PROJECT NO: 15/RV/01

DRAWING TITLE:
PROPOSED SITE PLAN

SCALE: 1:200@A3
DRAWING NO: S02A
REV: 04

APPROVED
RESOURCE CONSENTS
14 AUG 2015
AUCKLAND COUNCIL

LOT 1- TWO LEVEL DWELLING
LOT 2- TWO LEVEL DWELLING

PLEASE REFER TO AREA TABLE
1.2.3 ON FOR BUILT UP AREA
DETAILS ON BOTH LOTS &
LEVELS FOR EACH DWELLING

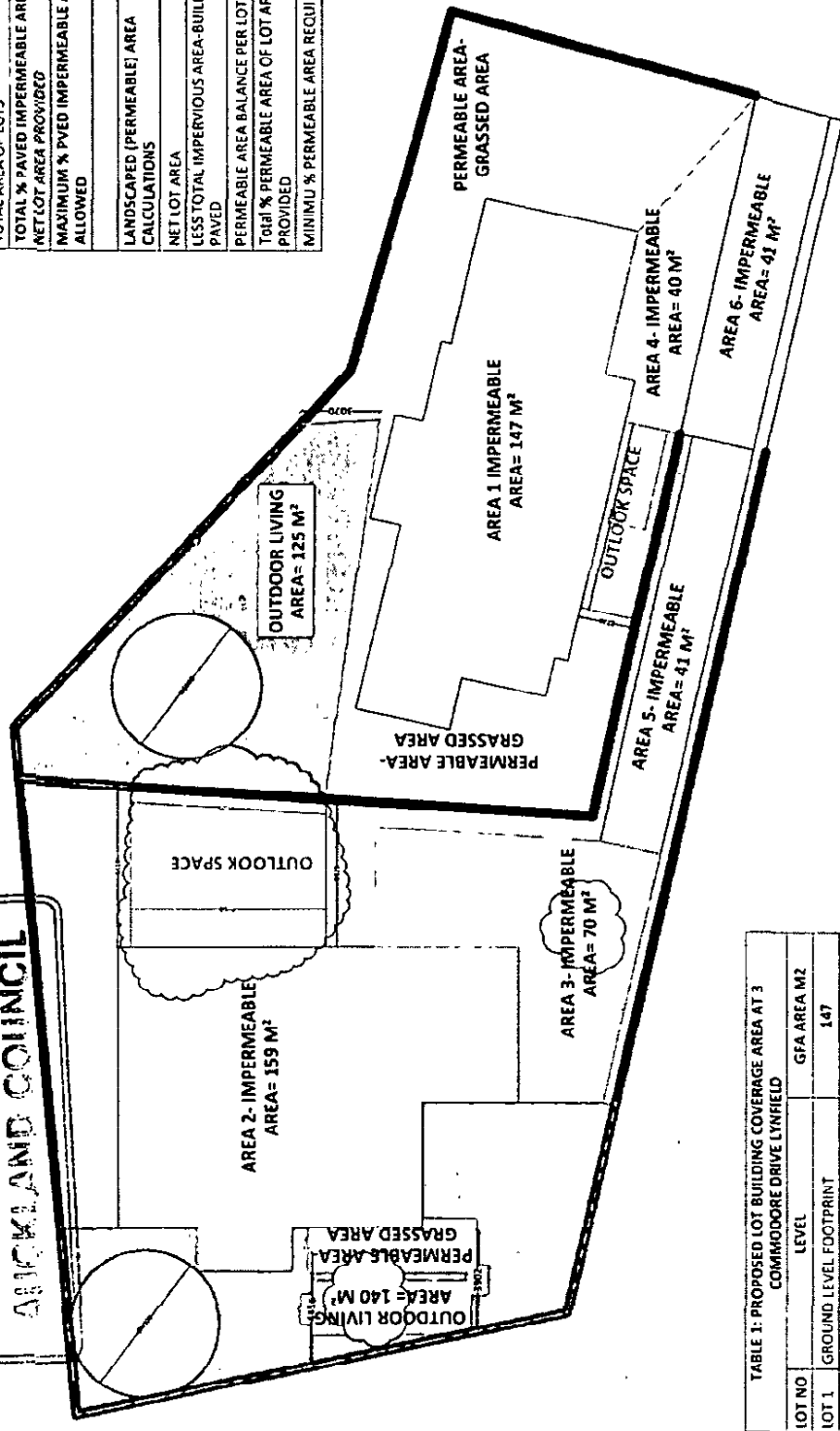


TABLE 1: PROPOSED LOT BUILDING COVERAGE AREA AT 3 COMMODORE DRIVE LYNFIELD			
LOT NO	LEVEL	GFA AREA M2	
LOT 1	GROUND LEVEL FOOTPRINT	147	
	UPPER LEVEL FOOTPRINT	133	
	TOTAL FLOOR AREA	280	
LOT 2	GROUND LEVEL FOOTPRINT	147	
	UPPER LEVEL FOOTPRINT	125	
	TOTAL FLOOR AREA	272	
TOTAL ROOF AREA			
TOTAL ROOF AREA			

TABLE 3: PROPOSED LOT AREA CALCULATIONS AT 3 COMMODORE DRIVE LYNFIELD		
DESCRIPTION	LOT 1 IN M2	LOT 2 IN M2
BUILDING COVERAGE AREA CALCULATIONS		
BUILDING FLOOR COVERAGE ON GF	147	159
TOTAL AREA OF LOTS	554	534
TOTAL % BUILDING COVERAGE - 35%	26.53%	29.78%
PERMITTED	<35% COMPLIES	<35% COMPLIES
PAVED IMPERMEABLE AREA CALCULATIONS		
EXTERNAL IMPERMEABLE AREA	81	111
TOTAL AREA OF LOTS	554	534
TOTAL % PAVED IMPERMEABLE AREA OF	14.62%	20.79%
NET LOT AREA PROVIDED		
MAXIMUM % PAVED IMPERMEABLE AREA ALLOWED	25% COMPLIES	25% COMPLIES
LANDSCAPED (PERMEABLE) AREA CALCULATIONS		
NET LOT AREA	554	534
LESS TOTAL IMPERVIOUS AREA-BUILDING & PAVED	228	270
PERMEABLE AREA BALANCE PER LOT	326	264
Total % PERMEABLE AREA OF LOT AREA PROVIDED	58.84%	49.44%
MINIMUM % PERMEABLE AREA REQUIRED	40% COMPLIES	40% COMPLIES

TABLE 2: PROPOSED LOT AREA CALCULATIONS FOR 3 COMMODORE DRIVE LYNFIELD		
DESCRIPTION	AREA IN M2	AREA IN M2
LANDSCAPED (PERMEABLE) AREA CALCULATIONS		
NET LOT AREA	554	534
LESS TOTAL IMPERVIOUS AREA-BUILDING & PAVED	228	270
PERMEABLE AREA BALANCE PER LOT	326	264
Total % PERMEABLE AREA OF LOT AREA PROVIDED	58.84%	49.44%
MINIMUM % PERMEABLE AREA REQUIRED	40% COMPLIES	40% COMPLIES



PROJECT:
PROPOSED SUBDIVISION AT
3, COMMODORE DRIVE
LYNFIELD, AUCKLAND

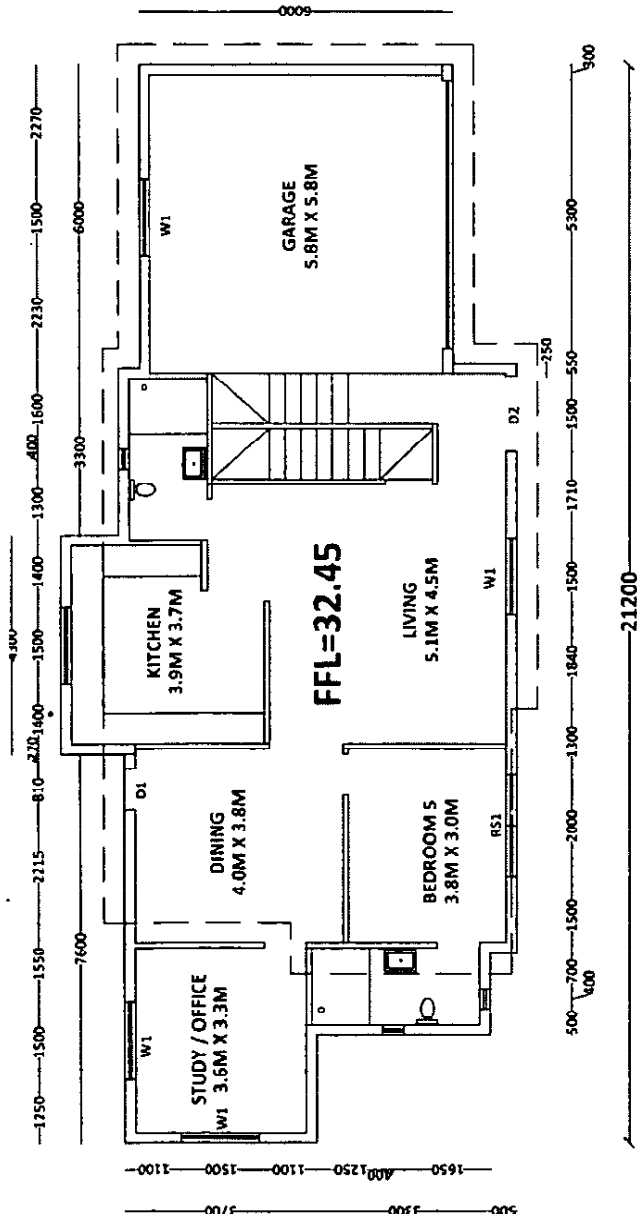
CLIENT:
RV GROUP LIMITED
620, MANUKU ROAD
EPSOM, AUCKLAND

DRAWN BY: CHETAN PANDYA
DATE: 28 JULY 2015
PROJECT NO: 15/RV/01

DRAWING TITLE:
PROPOSED LOT PAVED &
UNPAVED AREAS

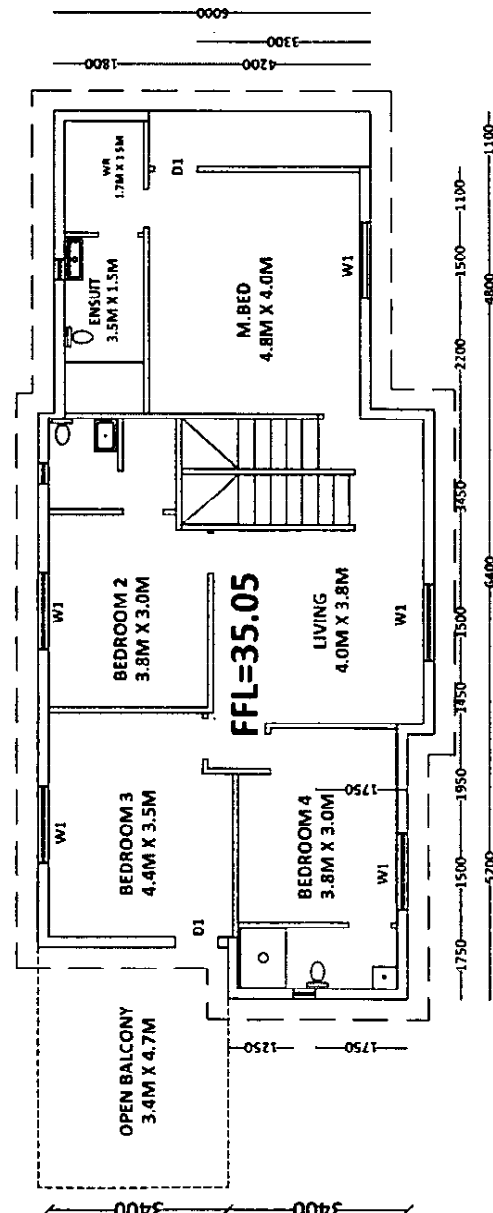
SCALE: 1:200@A3
DRAWING NO: F01
REV: 04

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(PHONE: 021 123 1234)



GROUND FLOOR PLAN

TABLE 4: PROPOSED FINISHED FLOOR LEVELS FOR LOT 1 & 2 DWELLINGS			
DESCRIPTION	LOT 1 DWELLING	LOT 2 DWELLING	LOT 2 DWELLING
FINISHED GROUND FLOOR LEVEL (GFL)	32.45	34.55	34.55
FINISHED UPPER FLOOR LEVEL	35.05	37.15	37.15
FINISHED UPPER FLOOR CEILING LEVEL	37.65	39.75	39.75
FINISHED ROOF LEVEL	39.5	41.6	41.6
FINISHED EXTERNAL GROUND LEVEL (FGL)	32.25	34.5	34.5



UPPER FLOOR PLAN

TABLE 1: PROPOSED LOT BUILDING COVERAGE AREA AT 3 COMMODORE DRIVE LYNFIELD			
LOT NO	LEVEL	GFA AREA M2	
LOT 1	GROUND LEVEL FOOTPRINT	147	
	UPPER LEVEL FOOTPRINT	133	
	TOTAL FLOOR AREA	280	
	TOTAL ROOF AREA	147	
LOT 2	GROUND LEVEL FOOTPRINT	159	
	UPPER LEVEL FOOTPRINT	125	
	TOTAL FLOOR AREA	284	
	TOTAL ROOF AREA	159	

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MOBILE: 011 726 392



PROJECT:
PROPOSED SUBDIVISION AT
3, COMMODORE DRIVE
LYNFIELD, AUCKLAND

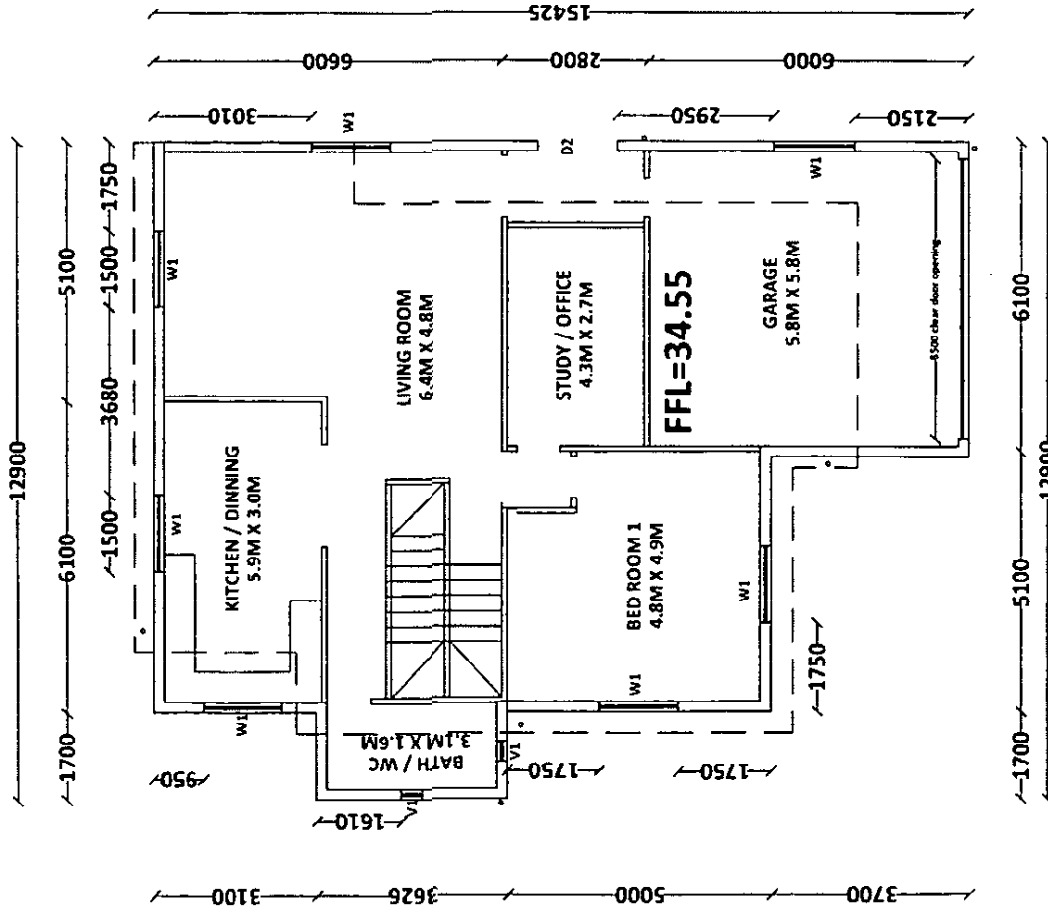
CLIENT:
RV GROUP LIMITED
620, MANUKU ROAD
EPSOM, AUCKLAND

DRAWN BY: CHETAN PANDYA
DATE: 03 JULY 2015
PROJECT NO: 15/RV/01

DRAWING TITLE:
PROPOSED FLOOR PLAN-
LOT 1

SCALE: 1:100@A3
DRAWING NO: FLO1
REV: 03

APPROVED
RESOURCE CONSENTS
14 AUG 2015
AUCKLAND COUNCIL



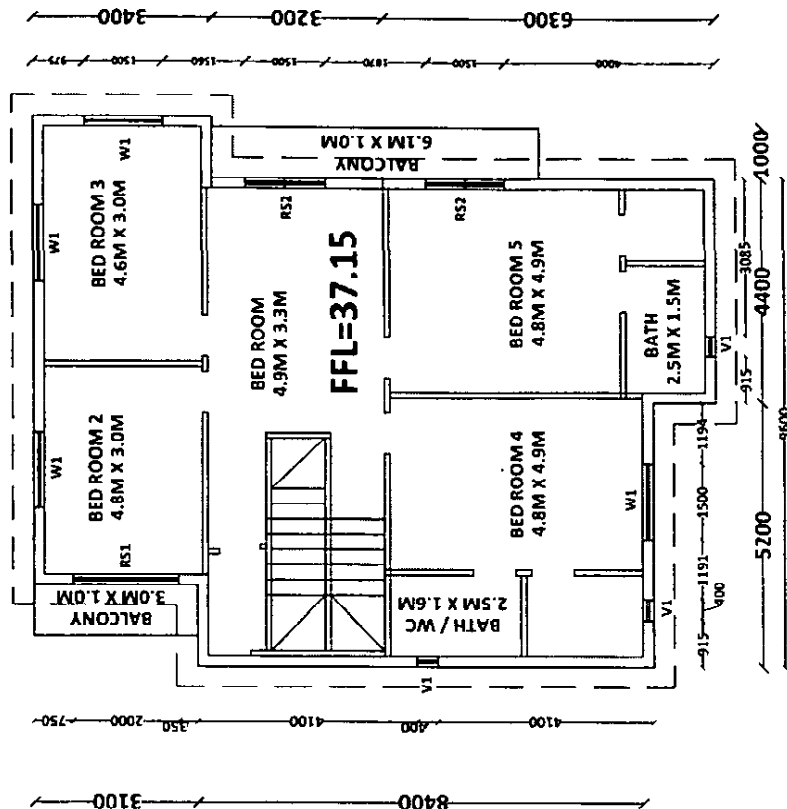
GROUND FLOOR PLAN

TABLE 4: PROPOSED FINISHED FLOOR LEVELS FOR LOT 1 & 2 DWELLINGS

DESCRIPTION	LOT 1 DWELLING	LOT 2 DWELLING
FINISHED GROUND FLOOR LEVEL (GFL)	32.45	34.55
FINISHED UPPER FLOOR LEVEL	35.05	37.15
FINISHED UPPER FLOOR CEILING LEVEL	37.65	39.75
FINISHED ROOF LEVEL	39.5	41.6
FINISHED EXTERNAL GROUND LEVEL (FGL)	32.25	34.5

TABLE 1: PROPOSED LOT BUILDING COVERAGE (AREA) AT 8

LOT NO	LEVEL	SFA AREA M2
LOT 1	GROUND LEVEL FOOTPRINT	133
	UPPER LEVEL FOOTPRINT	280
	TOTAL FLOOR AREA	147
LOT 2	GROUND LEVEL FOOTPRINT	159
	UPPER LEVEL FOOTPRINT	284
	TOTAL FLOOR AREA	159



UPPER FLOOR PLAN

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 MOBILE: 011 726 192

CIL Construction Ltd

PROJECT:
 PROPOSED SUBDIVISION AT
 3, COMMODORE DRIVE
 LYNFIELD, AUCKLAND

CLIENT:
 RV GROUP LIMITED
 620, MANUKAU ROAD
 EPSOM, AUCKLAND

DRAWN BY: CHETAN PANDYA
DATE: 03 JULY 2015
PROJECT NO: 15/RV/01

DRAWING TITLE:
 PROPOSED FLOOR PLAN -
 LOT 2

SCALE: 1:100@A3

DRAWING NO: FLO2
REV: 03

ROOF ABOVE UPPER FLOOR

AREA=147M²

FFL=39.50

ROOF ABOVE UPPER FLOOR

AREA=159M²

FFL=41.60

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RESOURCE CONSENTS**

14 AUG 2015

AUCKLAND COUNCIL

LOT 1 DWELLING ROOF AREA

**TABLE 1: PROPOSED LOT BUILDING COVERAGE AREA AT 3
COMMODORE DRIVE LYNFIELD**

LOT NO	LEVEL	GFA AREA M2
LOT 1	GROUND LEVEL FOOTPRINT	147
	UPPER LEVEL FOOTPRINT	133
	TOTAL FLOOR AREA	280
	TOTAL ROOF AREA	147
LOT 2	GROUND LEVEL FOOTPRINT	159
	UPPER LEVEL FOOTPRINT	125
	TOTAL FLOOR AREA	284
	TOTAL ROOF AREA	159

LOT 2 DWELLING ROOF AREA

TABLE 4: PROPOSED FINISHED FLOOR LEVELS FOR LOT 1 & 2 DWELLINGS

DESCRIPTION	LOT 1 DWELLING	LOT 2 DWELLING
FINISHED GROUND FLOOR LEVEL (GFL)	32.45	34.55
FINISHED UPPER FLOOR LEVEL	35.05	37.15
FINISHED UPPER FLOOR CEILING LEVEL	37.65	39.75
FINISHED ROOF LEVEL	39.5	41.6
FINISHED EXTERNAL GROUND LEVEL (FGL)	32.25	34.5

GENERAL NOTES
1. FOR MORE DETAILED INFORMATION
2. CONSULT THE ARCHITECT FOR ALL
3. THE INFORMATION SHOWN IS FOR INFORMATION ONLY
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MOBILE: 021 726 192

CIL
Construction Ltd

PROJECT:
PROPOSED SUBDIVISION AT
3, COMMODORE DRIVE
LYNFIELD, AUCKLAND

CLIENT:
RV GROUP LIMITED
620, MANUAKU ROAD
EPSOM, AUCKLAND

DRAWN BY: CHETAN PANDYA
DATE: 03 JULY 2015
PROJECT NO: 15/RV/D1

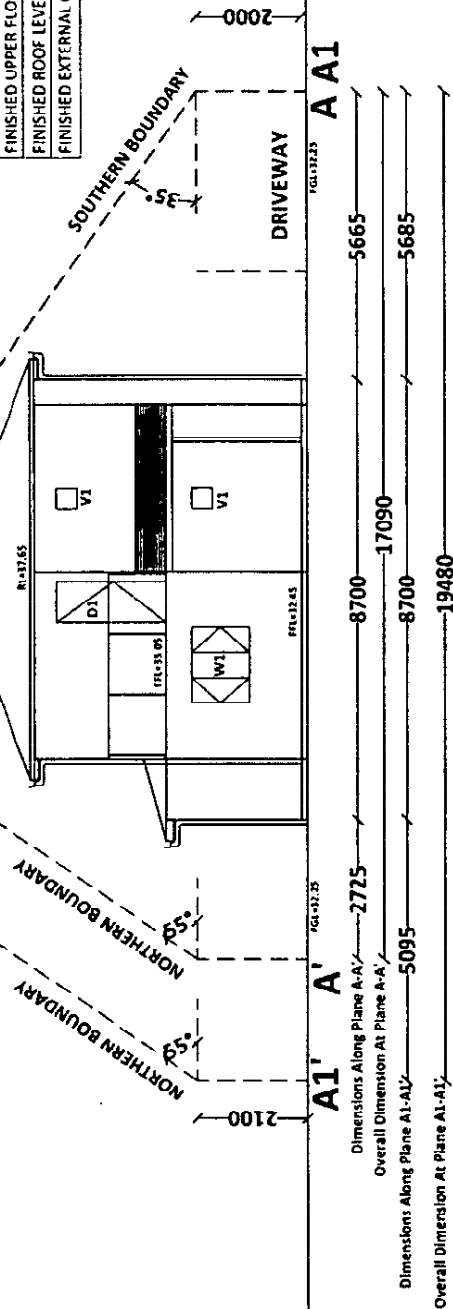
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PROPOSED ROOF AREA PLAN

SCALE: 1:100@A3

DRAWING NO: RF01
REV: 01

TABLE 4: PROPOSED FINISHED FLOOR LEVELS FOR LOT 1 & 2 DWELLINGS

DESCRIPTION	LOT 1 DWELLING	LOT 2 DWELLING
FINISHED GROUND FLOOR LEVEL (GFL)	32.45	34.55
FINISHED UPPER FLOOR LEVEL	35.05	37.15
FINISHED UPPER FLOOR CEILING LEVEL	37.65	39.75
FINISHED ROOF LEVEL	39.5	41.6
FINISHED EXTERNAL GROUND LEVEL (FGL)	32.25	34.5

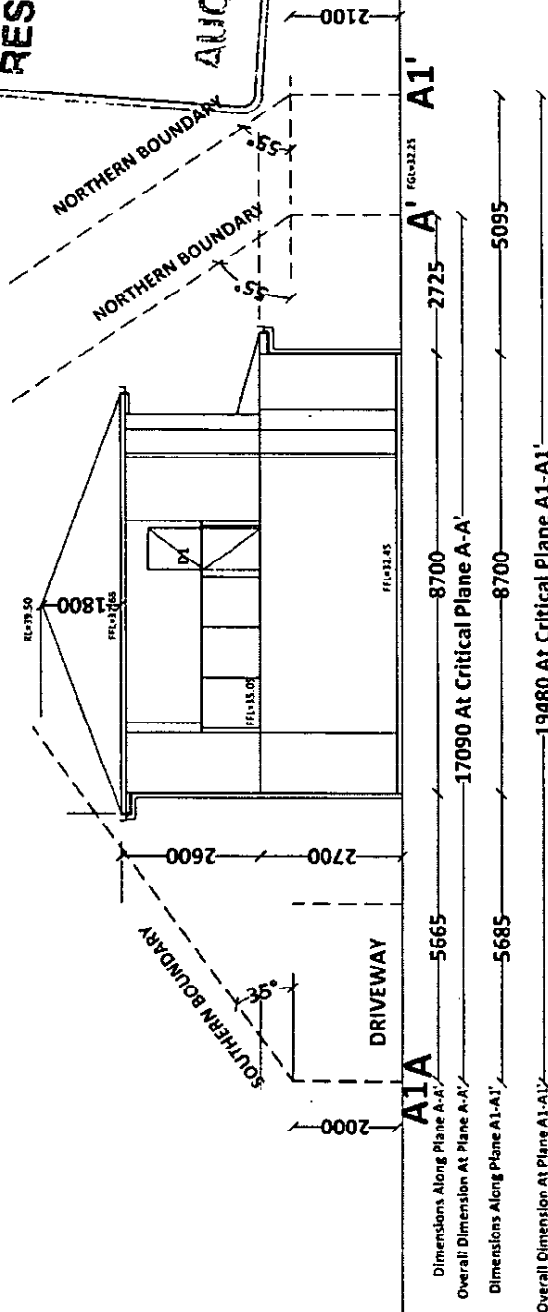


REFER TO DRAWING S02A REV 03
FOR CRITICAL PLANE POINTS, CRITICAL
DIMENSIONS BETWEEN BUILDINGS AND
BOUNDARIES ALONG CRITICAL PLANES

WESTERN ELEVATION AT CRITICAL PLANE A1-A1'

CRITICAL POINTS A-A' AND A1-A1'

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CRITICAL POINTS A-A' AND A1-A1'

EASTERN ELEVATION AT PLANE A-A' & A1-A1'

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CIL
Construction Ltd

PROJECT:
PROPOSED SUBDIVISION AT
3, COMMODORE DRIVE
LYNFIELD, AUCKLAND

CLIENT:
RV GROUP LIMITED
620, MANUKU ROAD
EPSOM, AUCKLAND

DRAWN BY: CHETAN PANDYA
DATE: 03 JULY 2015
PROJECT NO: 15/RV/01

DRAWING TITLE:
PROPOSED RECESION
PLANE CROSS SECTION-
LOT 1

SCALE: 1:100@A3

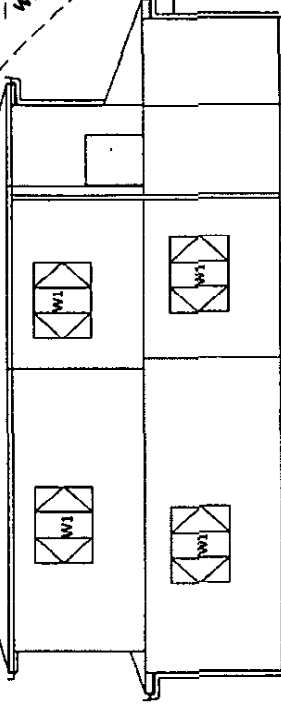
DRAWING NO: R01A
REV: 03

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14 AUG 2015

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WESTERN BOUNDARY
WESTERN BOUNDARY
45°
45°



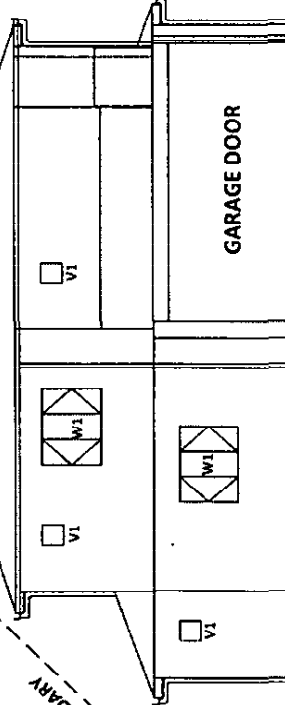
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 Dimensions Along Plane D-D': 4955 12900 4210
 Overall Dimension At Plane D-D': 22065
 Dimensions Along Plane D1-D1': 4500 12900 2360
 Overall Dimension At Plane D1-D1': 19760
 4010

NORTHERN ELEVATION AT CRITICAL PLANE D-D' & D1-D1'

REFER TO DRAWING S02A REV 03
FOR CRITICAL PLANE POINTS, CRITICAL
DIMENSIONS BETWEEN BUILDINGS AND
BOUNDARIES ALONG CRITICAL PLANES

TABLE 4: PROPOSED FINISHED FLOOR LEVELS FOR LOT 1 & 2 DWELLINGS			
DESCRIPTION	LOT 1 DWELLING	LOT 2 DWELLING	LOT 2 DWELLING
FINISHED GROUND FLOOR LEVEL (GFL)	32.45	32.45	34.55
FINISHED UPPER FLOOR LEVEL	35.05	35.05	37.15
FINISHED UPPER FLOOR CEILING LEVEL	37.65	37.65	39.75
FINISHED ROOF LEVEL	39.5	39.5	41.6
FINISHED EXTERNAL GROUND LEVEL (FGL)	32.25	32.25	34.5

EASTERN BOUNDARY
45°
45°



D D1 **D1 D1** **D1 D**
 Dimensions Along Plane D-D': 12900 4955 4210
 Overall Dimension At Plane D-D': 22065
 Dimensions Along Plane D1-D1': 12900 2360 4500
 Overall Dimension At Plane D1-D1': 19760
 4010

SOUTHERN ELEVATION AT CRITICAL PLANE D-D' & D1-D1'

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 MOBILE: 021 718 992



PROJECT:
PROPOSED SUBDIVISION AT
3, COMMODORE DRIVE
LYNFIELD, AUCKLAND

CLIENT:
RV GROUP LIMITED
620, MANUKU ROAD
EPSOM, AUCKLAND

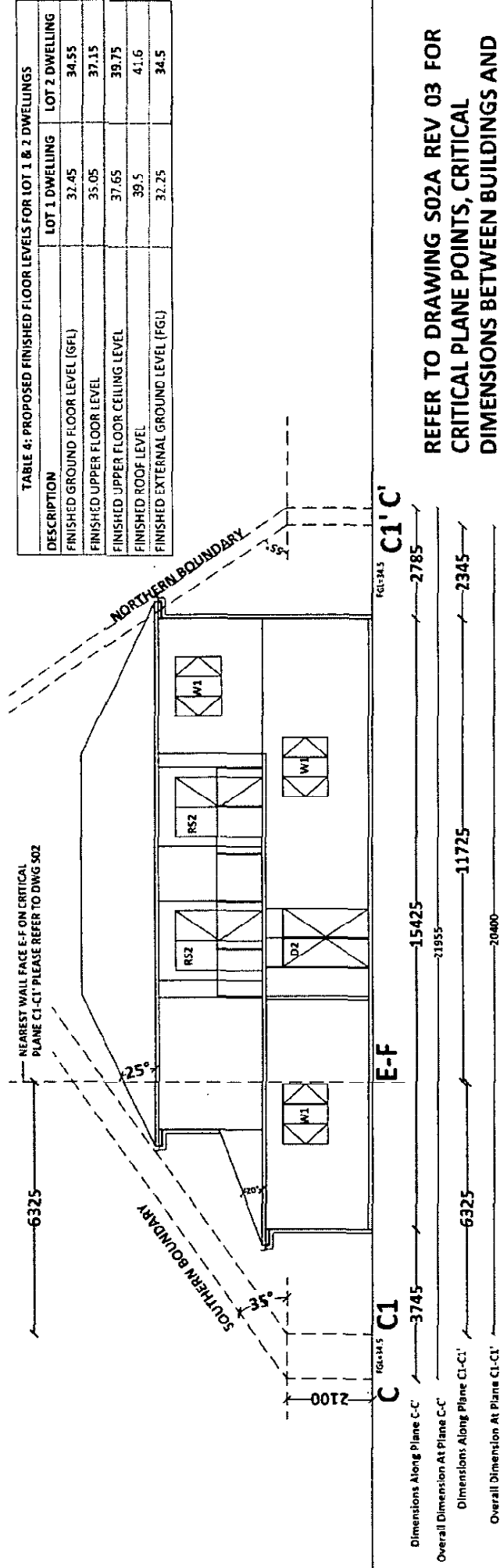
DRAWN BY: CHETAN PANDYA
DATE: 28 JULY 2015
PROJECT NO: 15/RV/01

DRAWING TITLE:
PROPOSED RECESSED
PLANE CROSS SECTION-
LOT 2

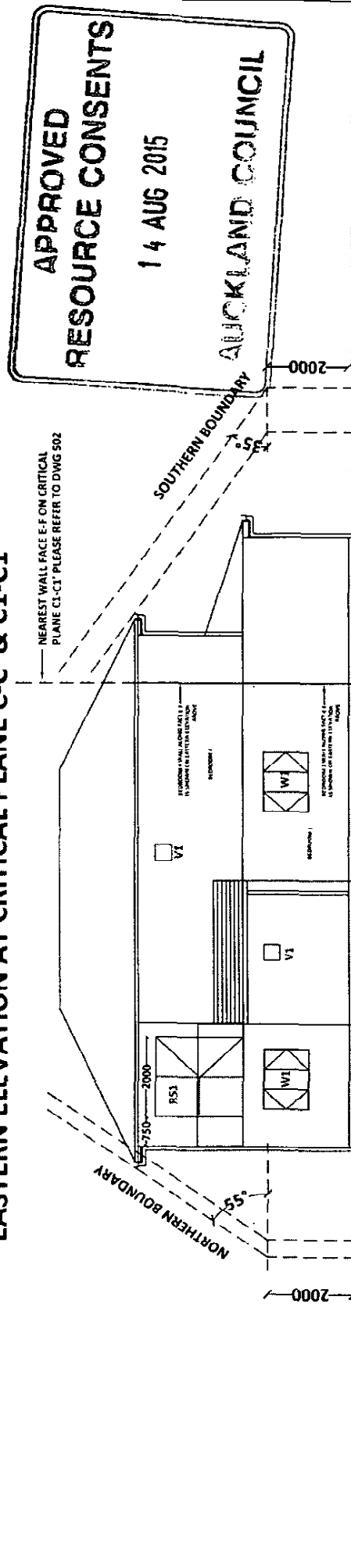
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DRAWING NO: R02
REV: 04

TABLE 4: PROPOSED FINISHED FLOOR LEVELS FOR LOT 1 & 2 DWELLINGS

DESCRIPTION	LOT 1 DWELLING	LOT 2 DWELLING
FINISHED GROUND FLOOR LEVEL (GFL)	32.45	34.55
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FINISHED UPPER FLOOR CEILING LEVEL	37.65	39.75
FINISHED ROOF LEVEL	39.5	41.6
FINISHED EXTERNAL GROUND LEVEL (FGL)	32.25	34.5



EASTERN ELEVATION AT CRITICAL PLANE C-C' & C1-C1'



WESTERN ELEVATION AT CRITICAL PLANE C-C' & C1-C1'

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EMAIL: CHETANPANDYA@HOTMAIL.CO.NZ
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PROJECT:
PROPOSED SUBDIVISION AT
3, COMMODORE DRIVE
LYNFIELD, AUCKLAND

CLIENT:
RV GROUP LIMITED
620, MANUKU ROAD
EPSOM, AUCKLAND

DRAWN BY: CHETAN PANDYA
DATE: 28 JULY 2015
PROJECT NO: 15/RV/01

DRAWING TITLE:
PROPOSED RECESSED
PLANE CROSS SECTION-
LOT 2

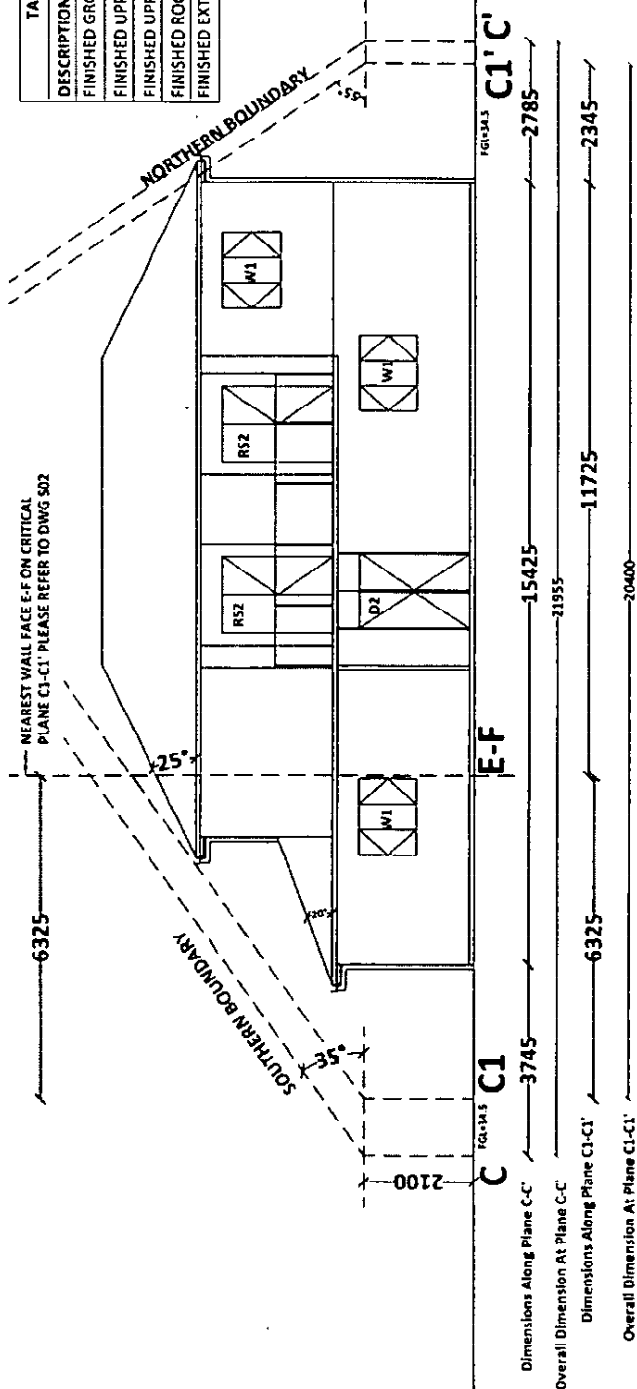
SCALE: 1:100@A3
DRAWING NO: R02A
REV: 04

**APPROVED
RESOURCE CONSENTS**

14 AUG 2015

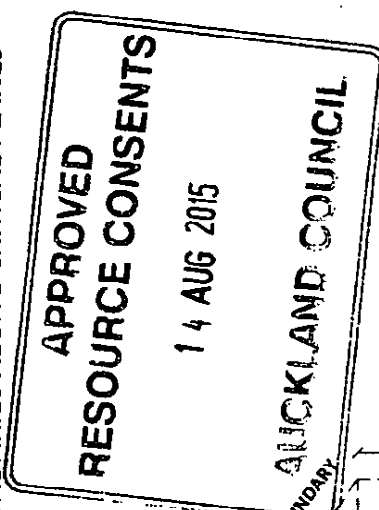
AUCKLAND COUNCIL

TABLE 4: PROPOSED FINISHED FLOOR LEVELS FOR LOT 1 & 2 DWELLINGS			
DESCRIPTION	LOT 1 DWELLING	LOT 2 DWELLING	LOT 2 DWELLING
FINISHED GROUND FLOOR LEVEL (GFL)	32.45	34.55	34.55
FINISHED UPPER FLOOR LEVEL	35.05	37.15	37.15
FINISHED UPPER FLOOR CEILING LEVEL	37.65	39.75	39.75
FINISHED ROOF LEVEL	39.5	41.6	41.6
FINISHED EXTERNAL GROUND LEVEL (FGL)	32.25	34.5	34.5

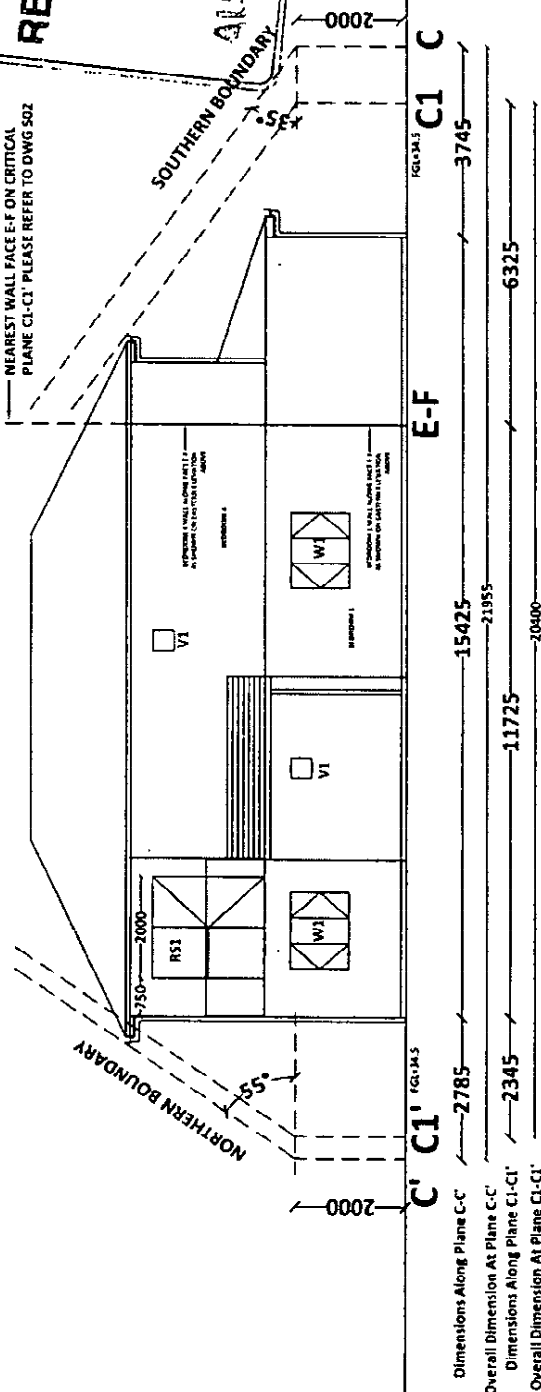


EASTERN ELEVATION AT CRITICAL PLANE C-C' & C1-C1'

REFER TO DRAWING S02A REV 03 FOR CRITICAL PLANE POINTS, CRITICAL DIMENSIONS BETWEEN BUILDINGS AND BOUNDARIES ALONG CRITICAL PLANES



NEAREST WALL FACE E-F ON CRITICAL PLANE C1-C1' PLEASE REFER TO DWG S02



WESTERN ELEVATION AT CRITICAL PLANE C-C' & C1-C1'

GENERAL NOTES
1. NO PART SHALL BE EXCLUDED
2. NOTIFICATION SHALL BE MADE TO THE RELEVANT AGENCIES
3. THE DRAWING IS THE PROPERTY OF CJL CONSTRUCTION LTD AND IS PROVIDED FOR THE USE AS DESCRIBED HERE AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION FROM CJL CONSTRUCTION LTD
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MOBILE: 021 728 392



PROJECT:
PROPOSED SUBDIVISION AT
3, COMMODORE DRIVE
LYNFIELD, AUCKLAND

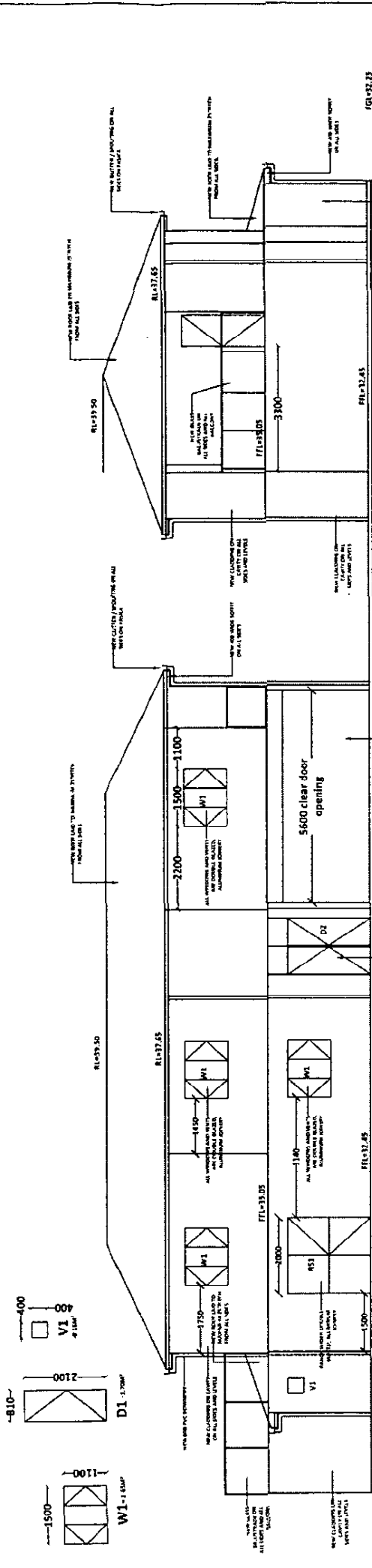
CLIENT:
RV GROUP LIMITED
620, MANUAKU ROAD
EPSOM, AUCKLAND

DRAWN BY: CHETAN PANDYA
DATE: 28 JULY 2015
PROJECT NO: 15/RV/01

DRAWING TITLE:
PROPOSED RECEPTION
PLANE CROSS SECTION-
LOT 2

SCALE: 1:100@A3

DRAWING NO: R02A
REV: 04



EASTERN ELEVATION LOT 1

SOUTHERN ELEVATION LOT 1

TABLE 4: PROPOSED FINISHED FLOOR LEVELS FOR LOT 1 & 2 DWELLINGS

DESCRIPTION	LOT 1 DWELLING	LOT 2 DWELLING
FINISHED GROUND FLOOR LEVEL (GFL)	32.45	34.55
FINISHED UPPER FLOOR LEVEL	35.05	37.15
FINISHED UPPER FLOOR CEILING LEVEL	37.65	39.75
FINISHED ROOF LEVEL	39.5	41.6
FINISHED EXTERNAL GROUND LEVEL (FGL)	32.25	34.5

TABLE 5: PROPOSED OPENINGS AREA TABLE FOR NORTHERN ELEVATION WALLS

ITEM	LOT 1 DWELLING IN M2	LOT 2 DWELLING IN M2
TOTAL WALL AREA	95.5	57.5
OPENINGS	9.6	6.6
WINDOW % 1:1.65	1.7	0.0
DOOR 1:1.782 / DOOR	0.48	0.0
VENTILATION V1: 0.482	4.78	6.6
TOTAL OPENINGS AREA IN M2	5.76	6.6
% OPENING OF THE WALL	5.93%	11.48%

TABLE 6: PROPOSED BUILDING MATERIALS FOR DWELLINGS AT 1 COMMODORE

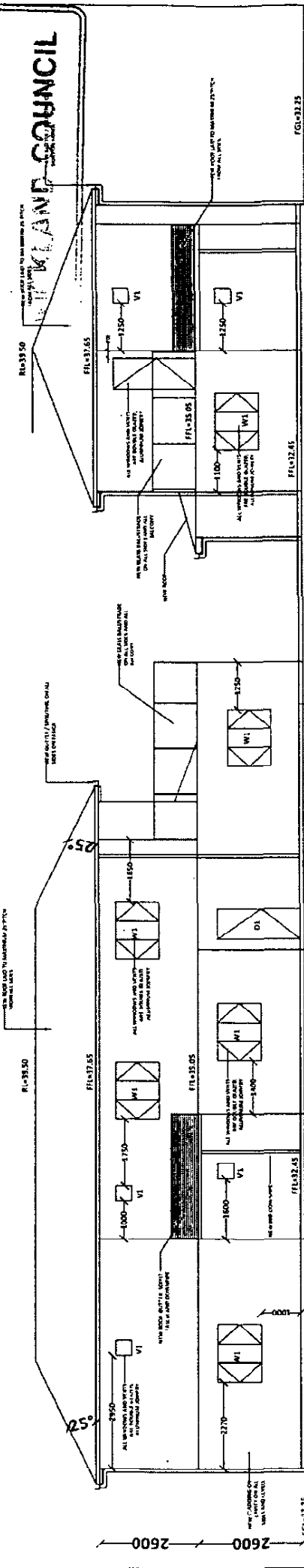
DESCRIPTION	MATERIALS
GROUND FLOOR	CONCRETE SLAB
UPPER FLOOR	CONCRETE SLAB
CLADDING	REPTER WEATHERBOARD OR REPTER ON CEMENT
ROOF	REPTER WEATHERBOARD OR REPTER ON CEMENT
DOOR	TIMBER DOOR AND FRAME
ADJUVEN-WINDOWS AND VENTILATION	ALUMINIUM DOUBLE GLAZED CLASS
WALLS	TIMBER FRAMED
LINE WALLS AND CEILING	PAINTED BOARD
INTERNAL AND OTHER EXTERNAL DOOR	TIMBER
PAINTWORK	GLASS PANELS
OUTLET & IN	UPVC

TABLE 5: PROPOSED OPENINGS AREA TABLE FOR NORTHERN ELEVATION WALLS

ITEM	LOT 1 DWELLING IN M2	LOT 2 DWELLING IN M2
TOTAL WALL AREA	95.5	57.5
OPENINGS	9.6	6.6
WINDOW % 1:1.65	1.7	0.0
DOOR 1:1.782 / DOOR	0.48	0.0
VENTILATION V1: 0.482	4.78	6.6
TOTAL OPENINGS AREA IN M2	5.76	6.6
% OPENING OF THE WALL	5.93%	11.48%

TABLE 4: PROPOSED FINISHED FLOOR LEVELS FOR LOT 1 & 2 DWELLINGS

DESCRIPTION	LOT 1 DWELLING	LOT 2 DWELLING
FINISHED GROUND FLOOR LEVEL (GFL)	32.45	34.55
FINISHED UPPER FLOOR LEVEL	35.05	37.15
FINISHED UPPER FLOOR CEILING LEVEL	37.65	39.75
FINISHED ROOF LEVEL	39.5	41.6
FINISHED EXTERNAL GROUND LEVEL (FGL)	32.25	34.5



WESTERN ELEVATION LOT 1

NORTHERN ELEVATION LOT 1

CLIENT:
RV GROUP LIMITED
620, MANUKU ROAD
EPSOM, AUCKLAND

PROJECT:
PROPOSED SUBDIVISION AT
3, COMMODORE DRIVE
LYNFIELD, AUCKLAND

DRAWING TITLE:
PROPOSED ELEVATION-
LOT 1

SCALE: 1:100@A3

DRAWING NO: E01

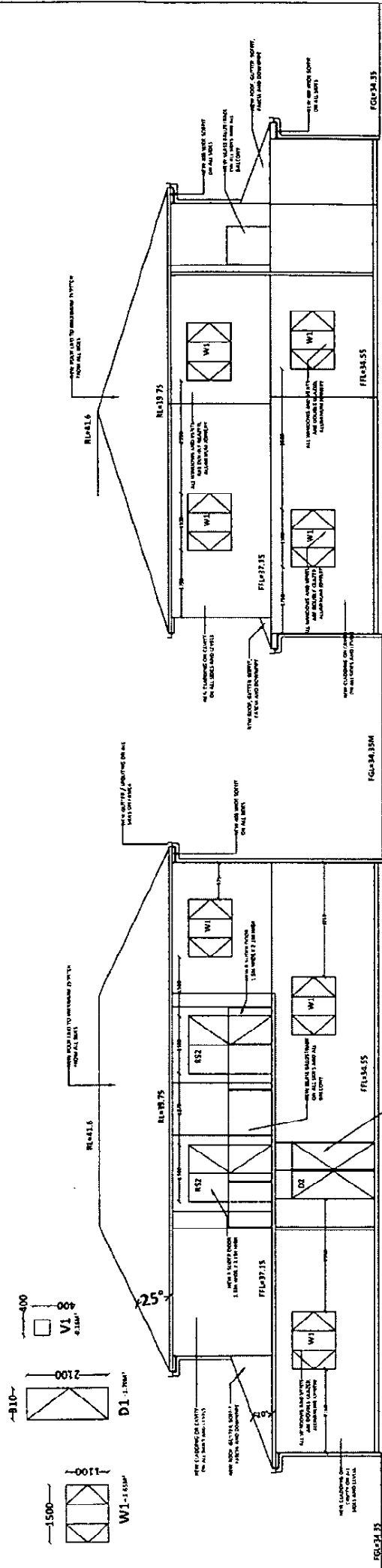
REV: 03

DRAWN BY: CHETAN PANDYA
DATE: 03 JULY 2015
PROJECT NO: 15/RV/01

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EMAIL: CHETANPANDYA@HOTMAIL.CO.NZ
MOBILE: 021 718 1372

GENERAL NOTES:
1. ALL DIMENSIONS ARE IN METERS
2. DIMENSIONS FROM WALL, UNLESS STATED OTHERWISE, ARE TO FACE
3. DIMENSIONS FROM GROUND ARE TO FINISH LEVEL
4. DIMENSIONS FROM GROUND ARE TO FINISH LEVEL

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EASTERN ELEVATION LOT 2

NORTHERN ELEVATION LOT 2

TABLE 4: PROPOSED FINISHED FLOOR LEVELS FOR LOT 1 & 2 DWELLINGS				
DESCRIPTION	LOT 1 DWELLING	LOT 2 DWELLING	LOT 1 DWELLING	LOT 2 DWELLING
FINISHED GROUND FLOOR LEVEL (IGFL)	32.45	34.55	34.55	34.55
FINISHED UPPER FLOOR LEVEL	35.05	37.15	37.15	37.15
FINISHED UPPER FLOOR CEILING LEVEL	37.65	39.75	39.75	39.75
FINISHED ROOF LEVEL	39.5	41.6	41.6	41.6
FINISHED EXTERNAL GROUND LEVEL (IGFL)	32.25	34.5	34.5	34.5

TABLE 5: PROPOSED OPENINGS AREA TABLE FOR NORTHERN ELEVATION WALLS

ITEM	TOTAL WALL AREA	LOT 1 DWELLING IN M2	LOT 2 DWELLING IN M2
OPENINGS		95.5	57.5
WINDOW W x H 6		6.6	6.6
WINDOW W x H 1.7		1.7	0.0
DOOR D x H 2.1		0.41	0.0
VENTILATOR V x H 0.3		0.0	0.0
TOTAL OPENING AREA IN M2		8.78	6.6
% OPENING OF THE WALL		9.15%	11.68%

TABLE 6: PROPOSED BUILDING MATERIALS FOR DWELLINGS AT 1 COMMODORE DRIVE

DESCRIPTION	MATERIALS
GROUND FLOOR	CONCRETE SLAB
UPPER FLOOR	CONCRETE SLAB
CLADDING	CEMENT BRICK
ROOF	CEMENT BRICK
MAIN DOOR	CEMENT BRICK
JOINTS/WINDOWS AND VENTILATION	CEMENT BRICK
WALLS	CEMENT BRICK
INTERNAL WALLS AND CEILING	CEMENT BRICK
INTERNAL AND OTHER EXTERNAL JOINTS	CEMENT BRICK
WALLS	CEMENT BRICK
CEILING	CEMENT BRICK
OUTSIDE UP	CEMENT BRICK

TABLE 7: PROPOSED BUILDING MATERIALS FOR DWELLINGS AT 1 COMMODORE DRIVE

DESCRIPTION	MATERIALS
GROUND FLOOR	CONCRETE SLAB
UPPER FLOOR	CONCRETE SLAB
CLADDING	CEMENT BRICK
ROOF	CEMENT BRICK
MAIN DOOR	CEMENT BRICK
JOINTS/WINDOWS AND VENTILATION	CEMENT BRICK
WALLS	CEMENT BRICK
INTERNAL WALLS AND CEILING	CEMENT BRICK
INTERNAL AND OTHER EXTERNAL JOINTS	CEMENT BRICK
WALLS	CEMENT BRICK
CEILING	CEMENT BRICK
OUTSIDE UP	CEMENT BRICK

TABLE 8: PROPOSED BUILDING MATERIALS FOR DWELLINGS AT 1 COMMODORE DRIVE

DESCRIPTION	MATERIALS
GROUND FLOOR	CONCRETE SLAB
UPPER FLOOR	CONCRETE SLAB
CLADDING	CEMENT BRICK
ROOF	CEMENT BRICK
MAIN DOOR	CEMENT BRICK
JOINTS/WINDOWS AND VENTILATION	CEMENT BRICK
WALLS	CEMENT BRICK
INTERNAL WALLS AND CEILING	CEMENT BRICK
INTERNAL AND OTHER EXTERNAL JOINTS	CEMENT BRICK
WALLS	CEMENT BRICK
CEILING	CEMENT BRICK
OUTSIDE UP	CEMENT BRICK

TABLE 9: PROPOSED BUILDING MATERIALS FOR DWELLINGS AT 1 COMMODORE DRIVE

DESCRIPTION	MATERIALS
GROUND FLOOR	CONCRETE SLAB
UPPER FLOOR	CONCRETE SLAB
CLADDING	CEMENT BRICK
ROOF	CEMENT BRICK
MAIN DOOR	CEMENT BRICK
JOINTS/WINDOWS AND VENTILATION	CEMENT BRICK
WALLS	CEMENT BRICK
INTERNAL WALLS AND CEILING	CEMENT BRICK
INTERNAL AND OTHER EXTERNAL JOINTS	CEMENT BRICK
WALLS	CEMENT BRICK
CEILING	CEMENT BRICK
OUTSIDE UP	CEMENT BRICK

SCALE: 1:100@A3

DRAWING NO:E02

REV: 03

DRAWING TITLE:

PROPOSED ELEVATIONS- LOT 2

DRAWN BY: CHETAN PANDYA

DATE: 03 JULY 2015

PROJECT NO: 15/RV/01

CLIENT:

RV GROUP LIMITED

620, MANUKU ROAD

EPSOM, AUCKLAND

PROJECT:

PROPOSED SUBDIVISION AT

3, COMMODORE DRIVE

LYNFIELD, AUCKLAND

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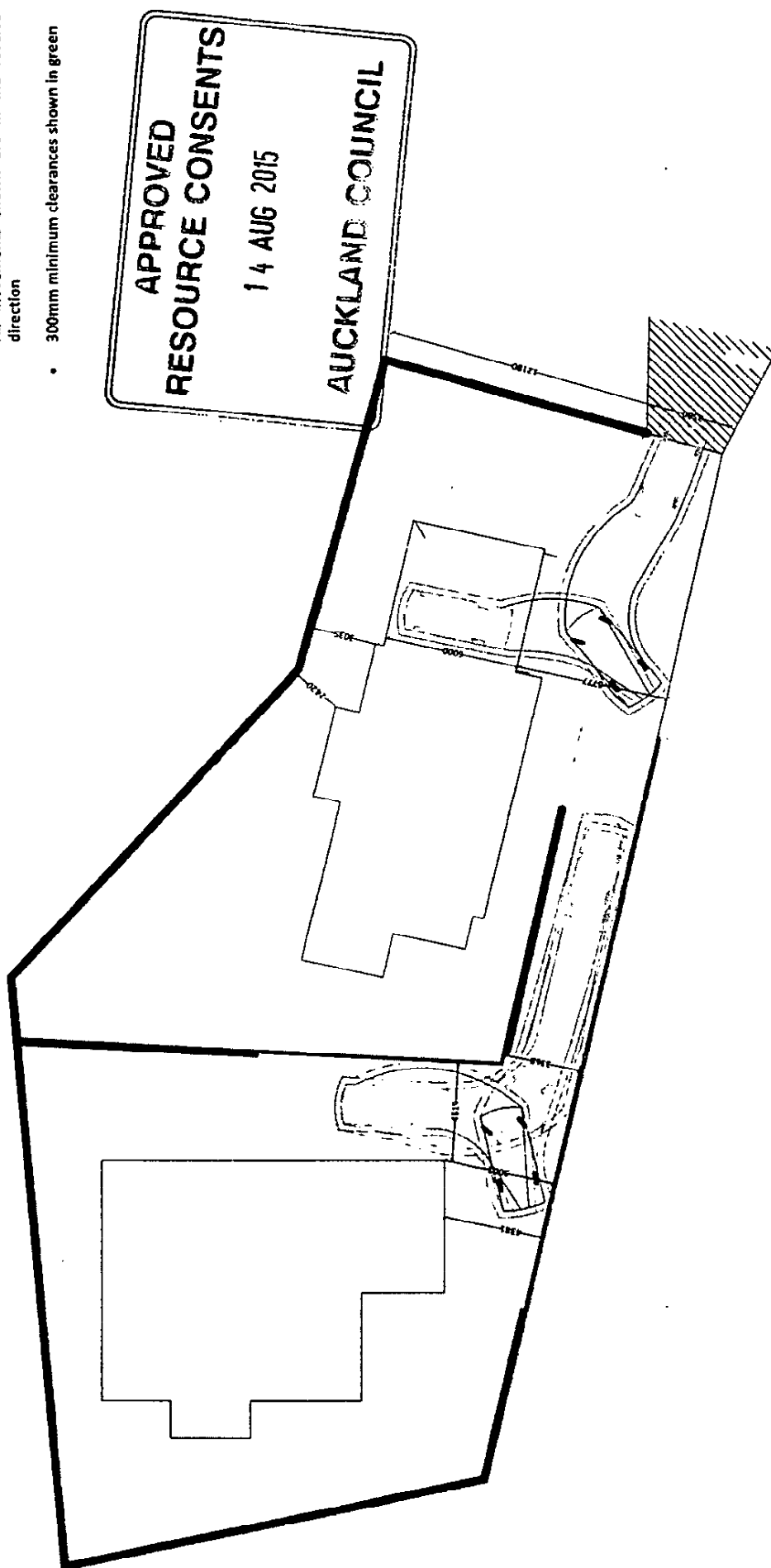
EMAIL: CHETANPANDYA@HOTMAIL.CO.NZ

MOBILE: 021 735 992

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NOTE-

- 99% Motorcar used for vehicle crossing access
- 90% Motorcar used for garages
- All movements shown are in the reverse direction
- 300mm minimum clearances shown in green



REVISIONS:
1. 10/10/15 - 10/10/15 - 10/10/15
2. 10/10/15 - 10/10/15 - 10/10/15
3. 10/10/15 - 10/10/15 - 10/10/15
4. 10/10/15 - 10/10/15 - 10/10/15
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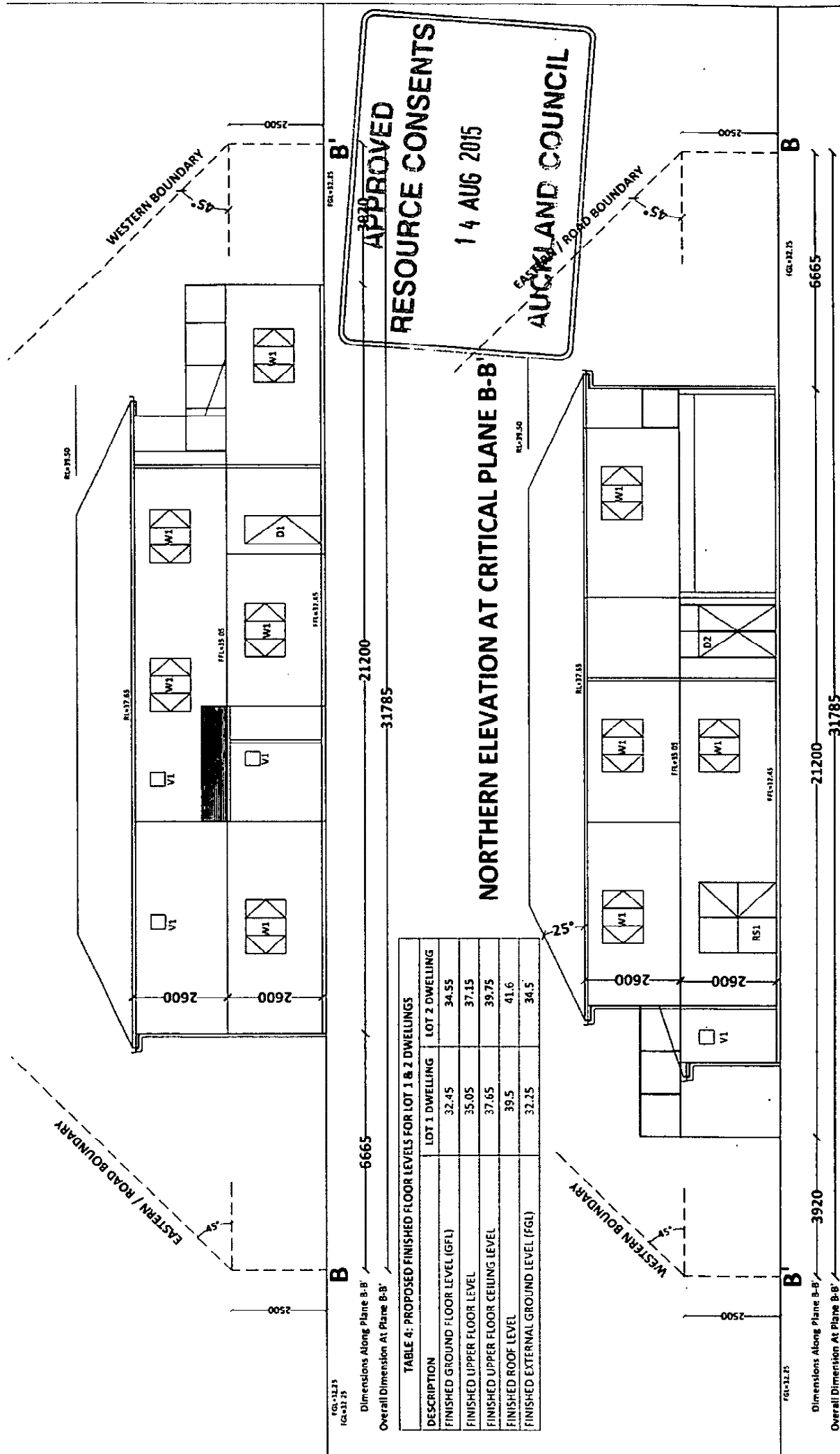
PROJECT:
PROPOSED SUBDIVISION AT
3, COMMODORE DRIVE
LYNFIELD, AUCKLAND

CLIENT:
RV GROUP LIMITED
620, MANUKU ROAD
EPSOM, AUCKLAND

DRAWN BY: CHETAN PANDYA
DATE: 28 JULY 2015
PROJECT NO: 15/RV/01

DRAWING TITLE:
PROPOSED CAR REVERSE
TRACKING PLAN

SCALE: 1:200@A3,
1:100@A1
DRAWING NO: TC02
REV: 03



SOUTHERN ELEVATION AT CRITICAL PLANE B-B'

REFER TO DRAWING S02A REV 03
FOR CRITICAL PLANE POINTS, CRITICAL
DIMENSIONS BETWEEN BUILDINGS AND
BOUNDARIES ALONG CRITICAL PLANES



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MOBILE: 021 725 392

GENERAL NOTES:
1. ALL DIMENSIONS ARE IN METERS
2. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON SITE
3. THIS DRAWING IS VALID FOR 12 MONTHS FROM DATE OF ISSUE
4. ANY CHANGES MUST BE APPROVED BY THE ARCHITECT

PROJECT:
PROPOSED SUBDIVISION AT
3, COMMODORE DRIVE
LYNFIELD, AUCKLAND

CLIENT:
RV GROUP LIMITED
620, MANUKU ROAD
EPSOM, AUCKLAND

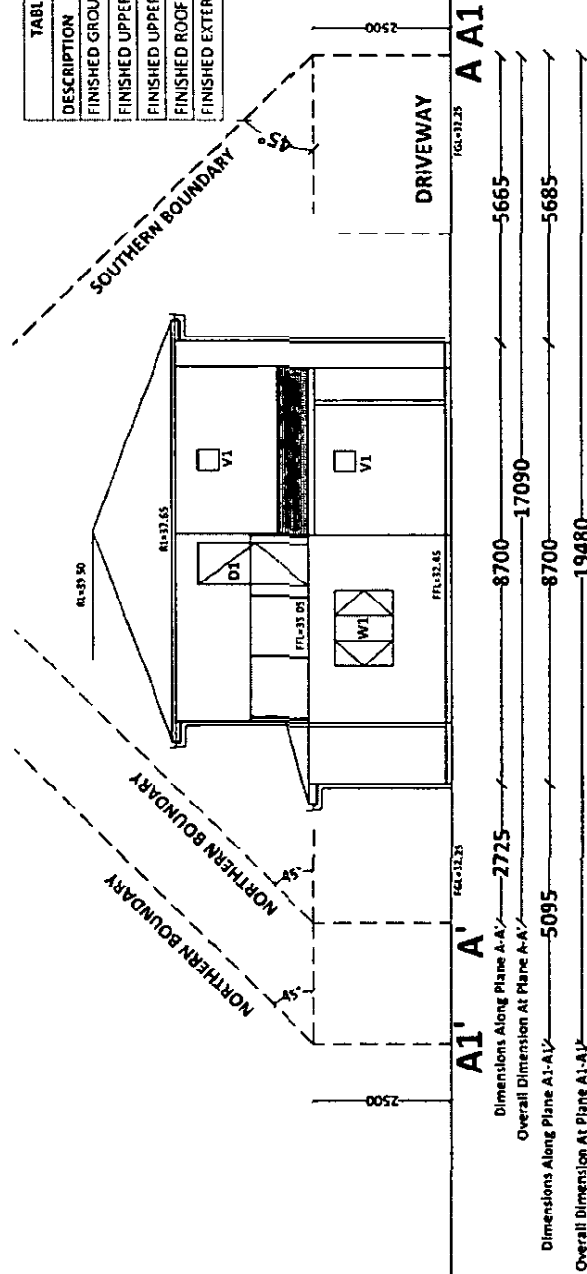
DRAWN BY: CHETAN PANDYA
DATE: 03 JULY 2015
PROJECT NO: 15/RV/01

DRAWING TITLE:
PROPOSED PAUP
RECESSION PLANE CROSS
SECTION- LOT 1

SCALE: 1:100@A3

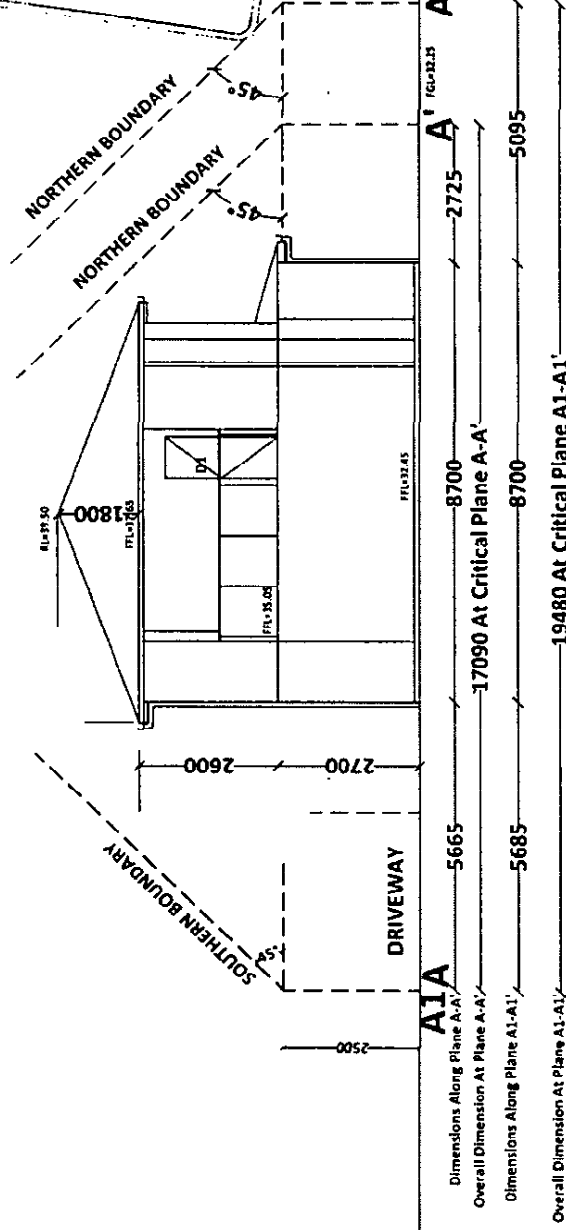
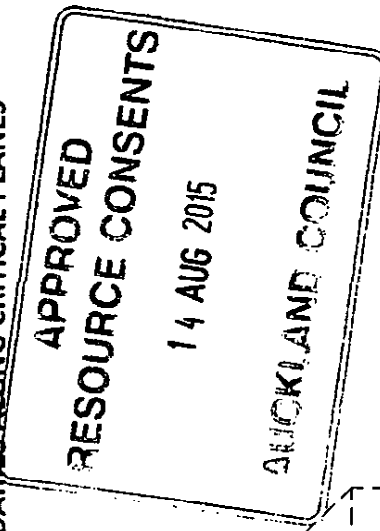
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REV: 03

DESCRIPTION	LOT 1 DWELLING	LOT 2 DWELLING
FINISHED GROUND FLOOR LEVEL (FGL)	32.45	34.55
FINISHED UPPER FLOOR LEVEL	35.05	37.15
FINISHED UPPER FLOOR CEILING LEVEL	37.65	39.75
FINISHED ROOF LEVEL	39.5	41.6
FINISHED EXTERNAL GROUND LEVEL (FGL)	32.25	34.5



REFER TO DRAWING S02A REV 03
FOR CRITICAL PLANE POINTS, CRITICAL
DIMENSIONS BETWEEN BUILDINGS AND
BOUNDARIES ALONG CRITICAL PLANES

WESTERN ELEVATION AT CRITICAL PLANE A1-A1'



EASTERN ELEVATION AT PLANE A-A' & A1-A1'

CRITICAL POINTS A-A' AND A1-A1'

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MOBILE: 021 726 392



PROJECT:
PROPOSED SUBDIVISION AT
3, COMMODORE DRIVE
LYNFIELD, AUCKLAND

CLIENT:
RV GROUP LIMITED
620, MANUAKU ROAD
EPSOM, AUCKLAND

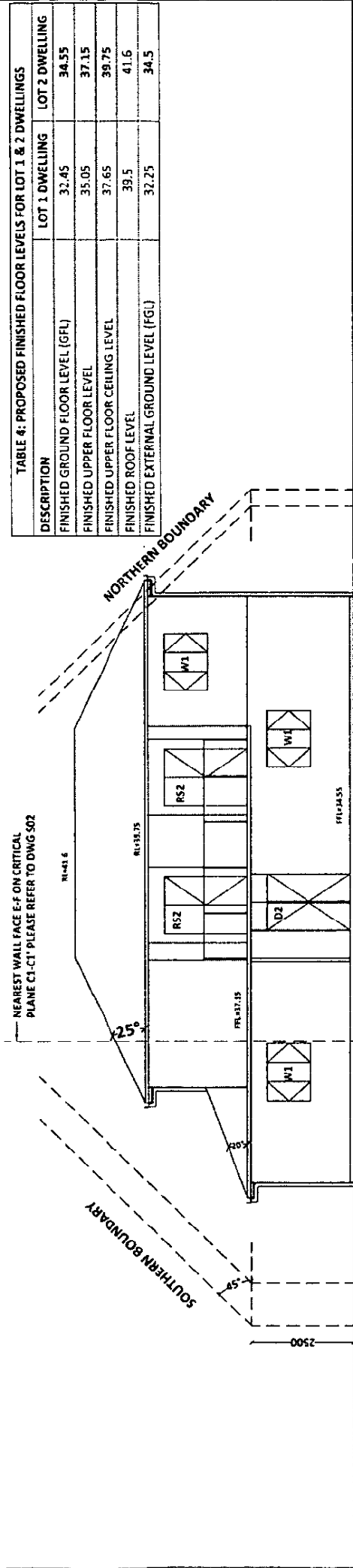
DRAWN BY: CHETAN PANDYA
DATE: 03 JULY 2015
PROJECT NO: 15/RV/01

DRAWING TITLE:
PROPOSED PAUP
RECESSION PLANE CROSS
SECTION- LOT 1

SCALE: 1:100@A3

DRAWING NO: PR01A
REV: 03

TABLE 4: PROPOSED FINISHED FLOOR LEVELS FOR LOT 1 & 2 DWELLINGS			
DESCRIPTION	LOT 1 DWELLING	LOT 2 DWELLING	LOT 2 DWELLING
FINISHED GROUND FLOOR LEVEL (GFL)	32.45	34.55	34.55
FINISHED UPPER FLOOR LEVEL	35.05	37.15	37.15
FINISHED UPPER FLOOR CEILING LEVEL	37.65	39.75	39.75
FINISHED ROOF LEVEL	39.5	41.6	41.6
FINISHED EXTERNAL GROUND LEVEL (FGL)	32.25	34.5	34.5



C1 **C1-C1'**

Dimensions Along Plane C-C'

Overall Dimension At Plane C-C'

Dimensions Along Plane C1-C1'

Overall Dimension At Plane C1-C1'

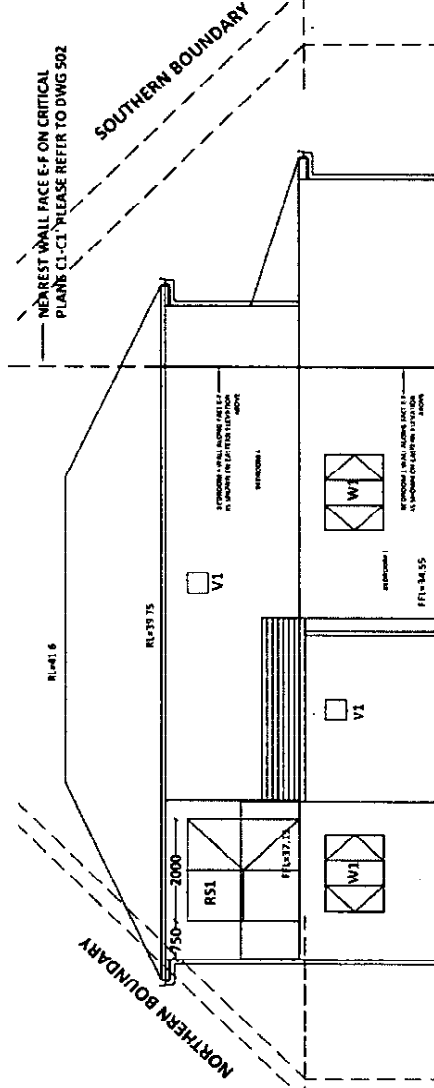
REFER TO DRAWING S02A REV 03 FOR
CRITICAL PLANE POINTS, CRITICAL
DIMENSIONS BETWEEN BUILDINGS AND
BOUNDARIES ALONG CRITICAL PLANES

EASTERN ELEVATION AT CRITICAL PLANE C-C' & C1-C1'

**APPROVED
RESOURCE CONSENTS**

14 AUG 2015

AUCKLAND COUNCIL



C1 **C1-C1'**

Dimensions Along Plane C-C'

Overall Dimension At Plane C-C'

Dimensions Along Plane C1-C1'

Overall Dimension At Plane C1-C1'

WESTERN ELEVATION AT CRITICAL PLANE C-C' & C1-C1'

GENERAL NOTES:
1. CONSULT WITH THE COUNCIL
2. EXISTING WALLS SHALL BE MAINTAINED AND NOT REMOVED FOR ALL
3. THE DRAWING SHALL BE USED IN CONJUNCTION WITH THE
4. THE PROJECT DOCUMENTS AND SPECIFICATION

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MOBILE: 021 726 592

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Construction Ltd

PROJECT:
PROPOSED SUBDIVISION AT
3, COMMODORE DRIVE
LYNFIELD, AUCKLAND

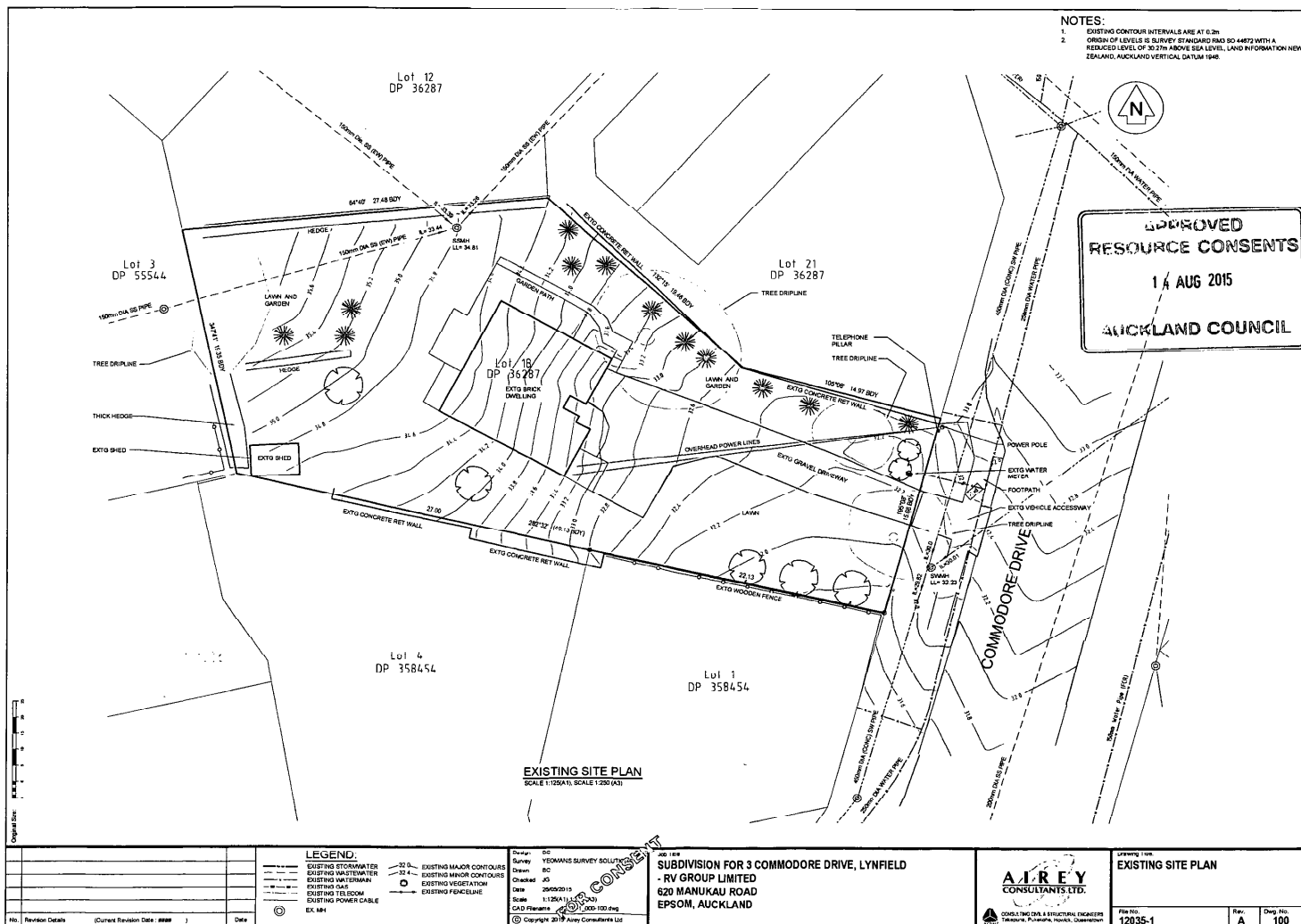
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RV GROUP LIMITED
620, MANUKU ROAD
EPSOM, AUCKLAND

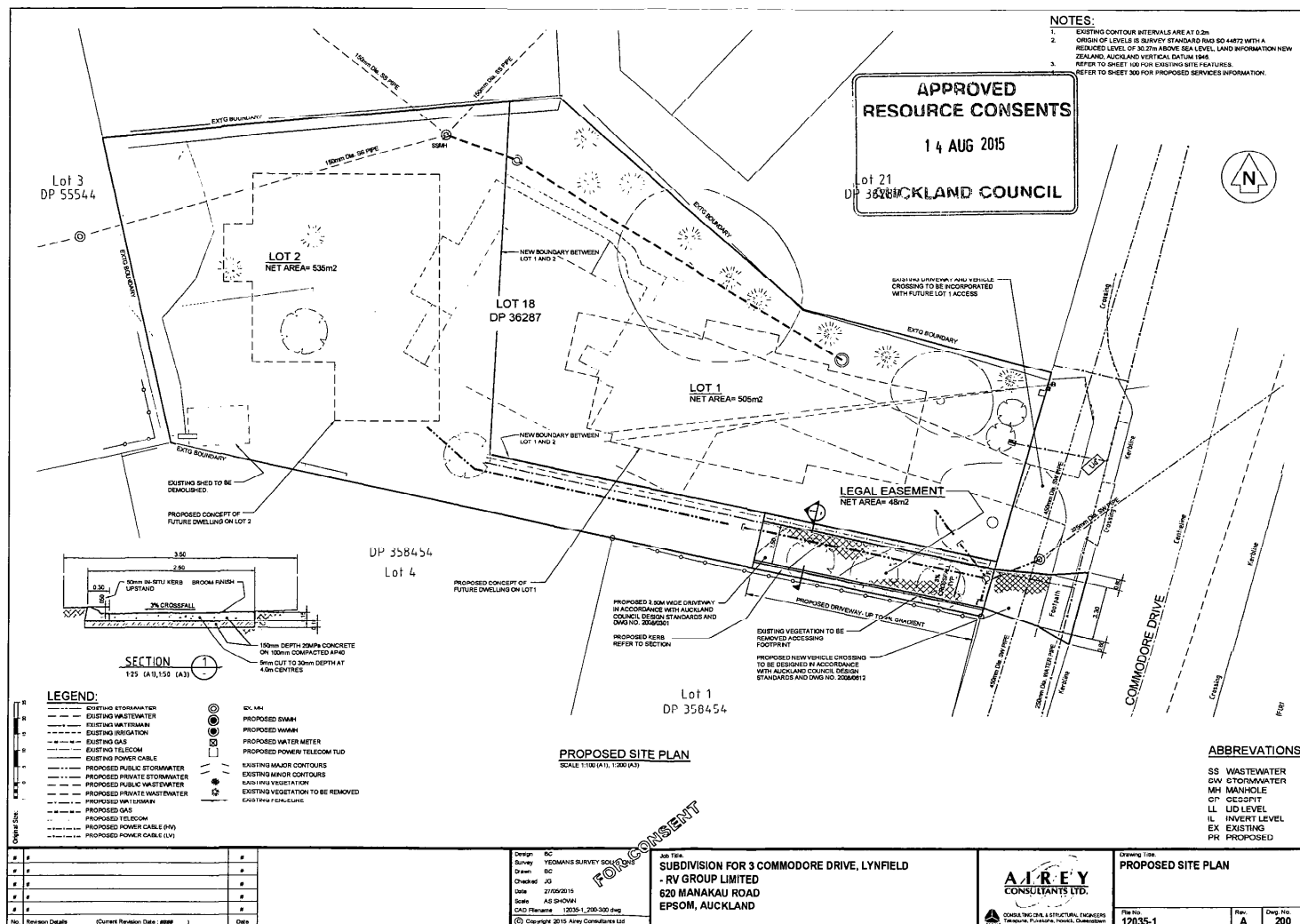
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DATE: 28 JULY 2015
PROJECT NO: 15/RV/01

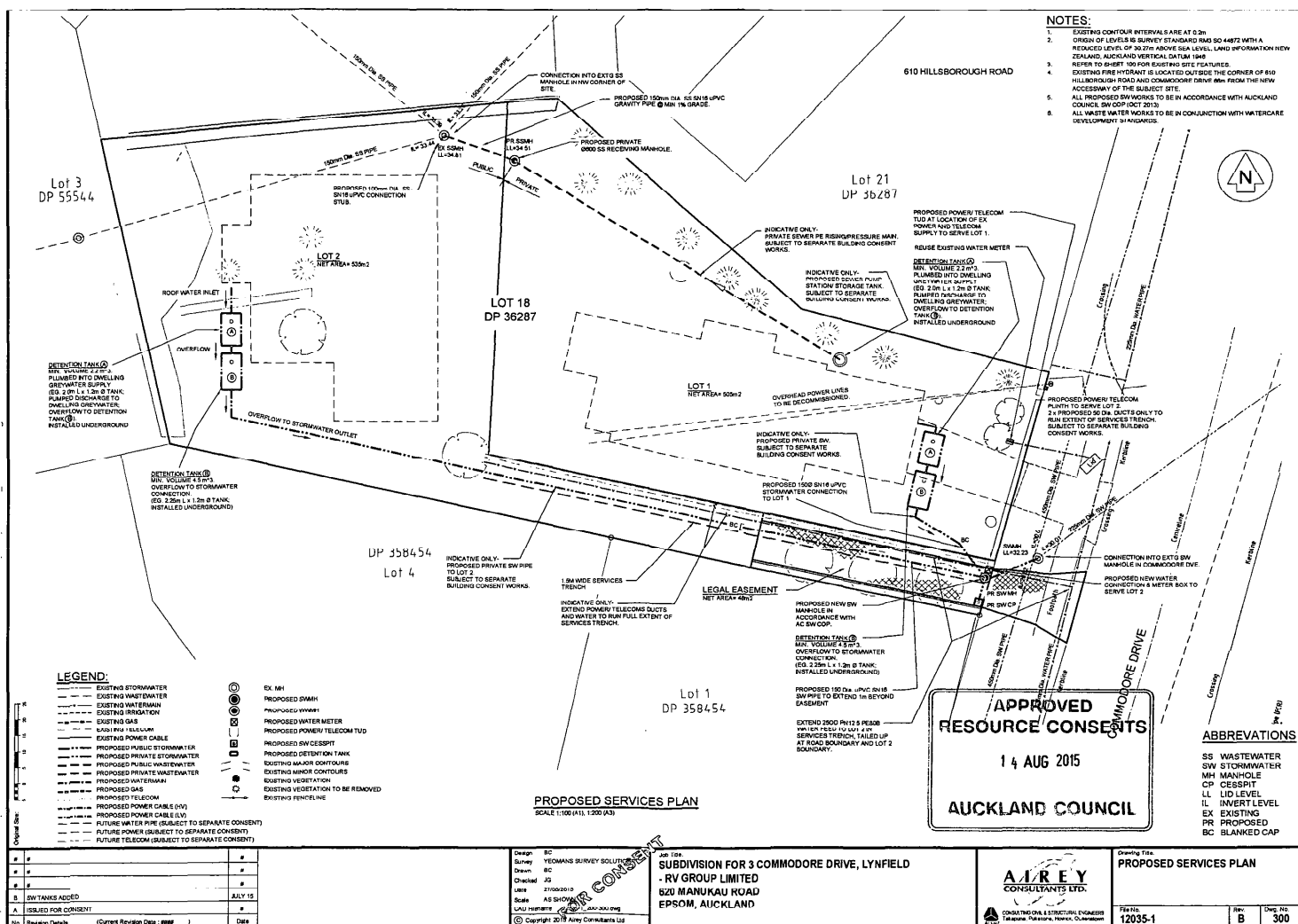
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PROPOSED PAUP
RECESSION PLANE CROSS
SECTION- LOT 2

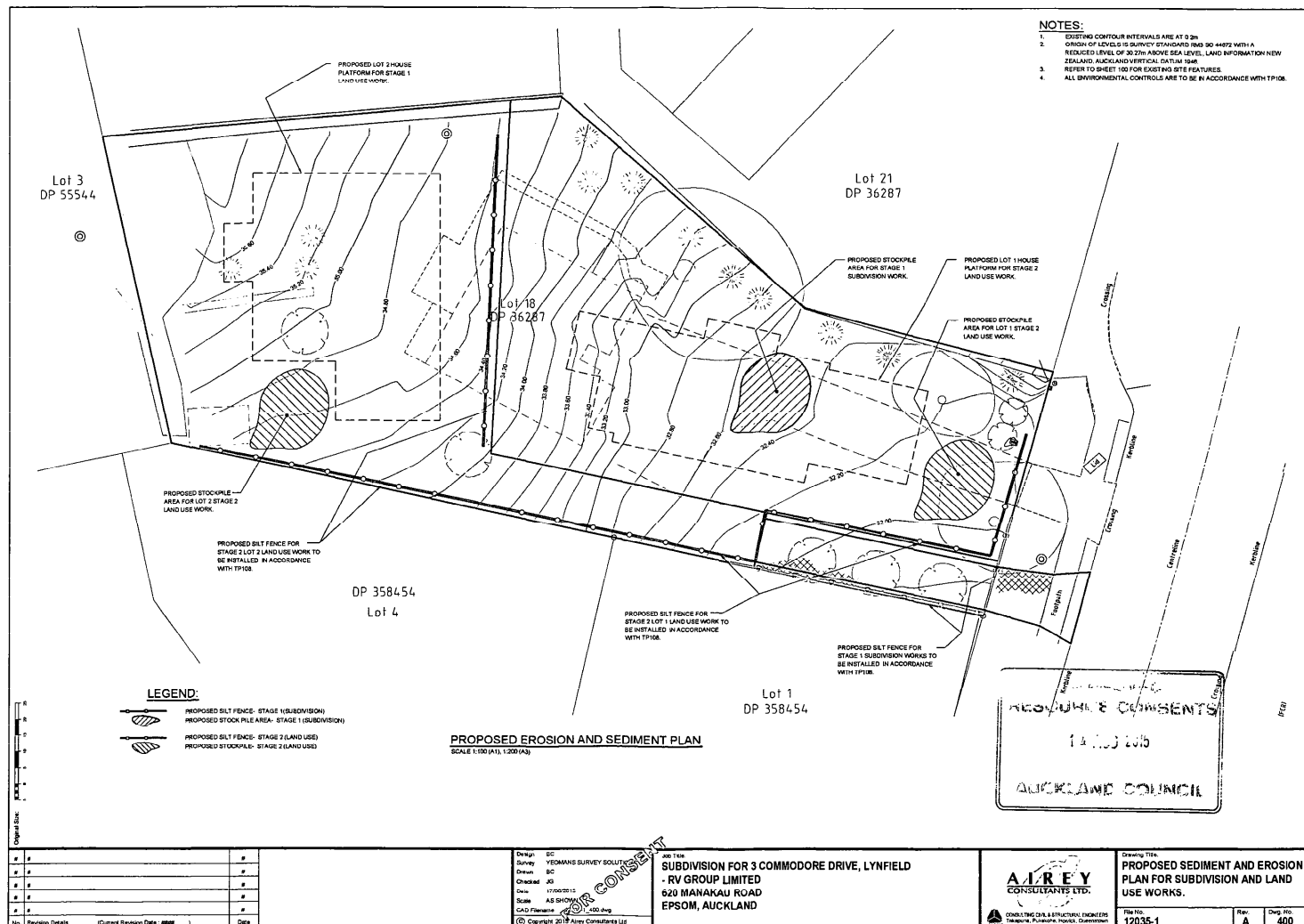
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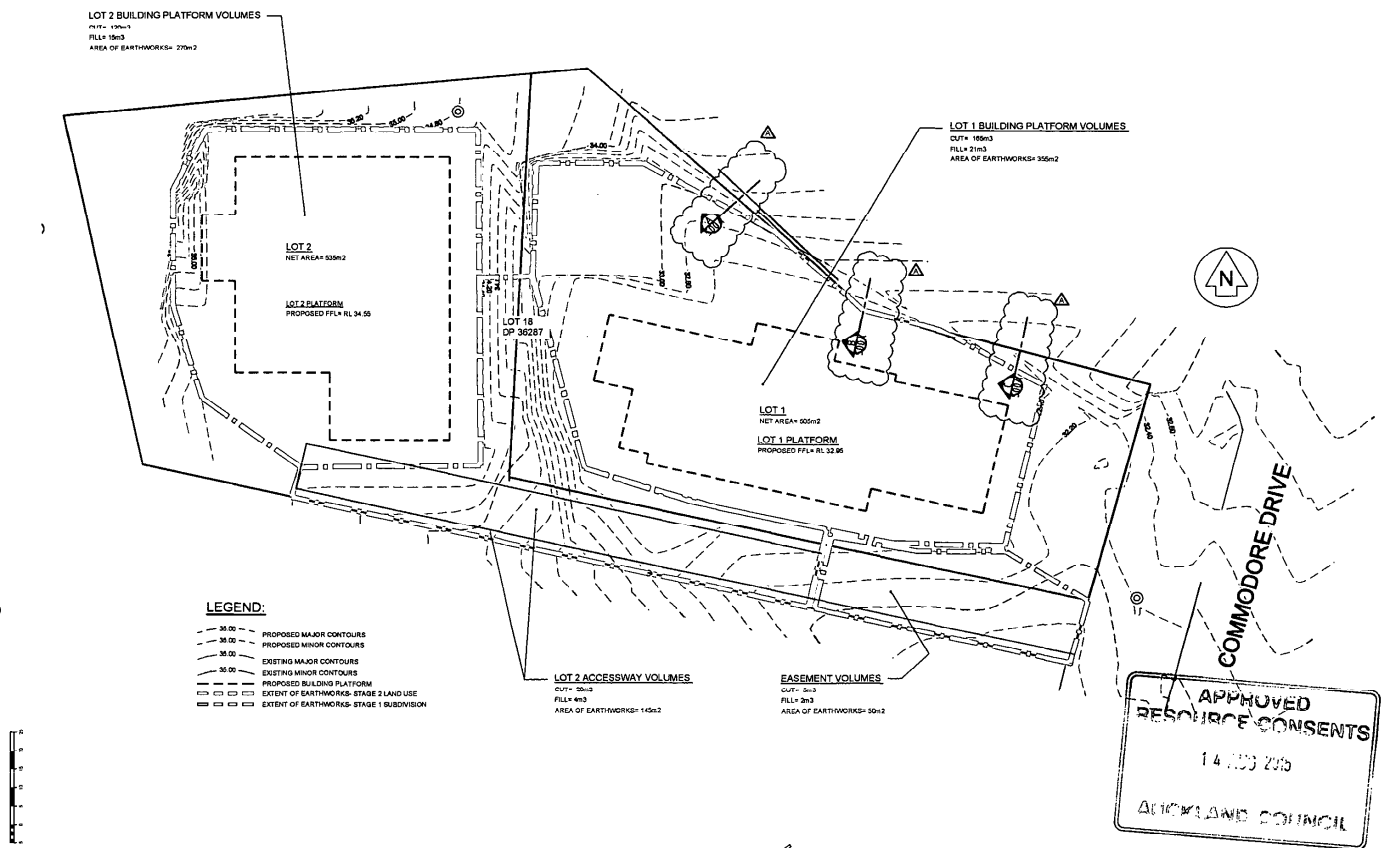
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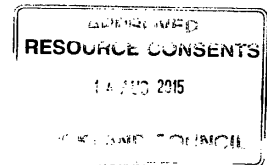
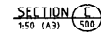
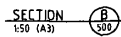
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 Drawn: SC
 Checked: JO
 Date: 11/05/2015
 Scale: AS SHOWN
 CAD File: 12035-1-500.dwg
 P20: Proposed 2015 and 2016/17

Job Title:
 SUBDIVISION FOR 3 COMMODORE DRIVE, LYNFIELD
 - RV GROUP LIMITED
 620 MANAKAU ROAD
 EPSOM, AUCKLAND

AJREY
 CONSULTANTS LTD.
 CIVIL & STRUCTURAL ENGINEERS
 TIRUPATI, PUNJAB, INDIA, CHENNAI

Drawing Title:
 PROPOSED EARTHWORKS PLAN
 File No:
 12035-1-500-1
 Rev:
 A
 Date:
 14/03/2015



#	#	#
#	#	#
#	#	#
#	#	#
#	#	#
No. Revision Details (Current Revision Date:)		Date

Design: BC
Survey: YEOMANS SURVEY SOLUTIONS
Drawn: BC
Checked: JG
Date: 1/08/2010
Scale: AS SHOWN
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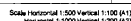
Job Title
SUBDIVISION FOR 3 COMMODORE DRIVE, LYNFIELD
- RV GROUP LIMITED
620 MANAKAU ROAD
EPSOM, AUCKLAND



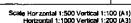
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CONSULTING CIVIL & STRUCTURAL ENGINEERS
Telokong, Pongkeh, Howick, Queenstown

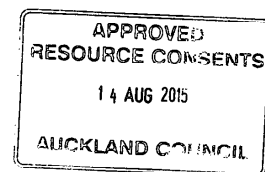
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LONGITUDINAL SECTION- ACCESSWAY TO LOT 1



LONGITUDINAL SECTION- ACCESSWAY TO LOT 2



#	#	George BC Survey YBOMARS SURVEY SOUTH Drawn BC Checked JS Date 17/06/2015 Scale AS SHOWN Litho Proposed 1:500 / 1:2000 Mining Reg. © Copyright 2015 Arey Consultants Ltd	JOB TITLE SUBDIVISION FOR 3 COMMODORE DRIVE, LYNFIELD - RV GROUP LIMITED 620 MANAKAU ROAD EPSOM, AUCKLAND	 AIREY CONSULTANTS LTD. CONSULTING CIVIL & STRUCTURAL ENGINEERS TELEPHONE: 09 234 4444 FAX: 09 234 4445 www.airey.co.nz	DRAWN BY: JG CHECKED BY: JG DATE: 17/06/2015 SCALE: AS SHOWN LITHO: PROPOSED 1:500 / 1:2000 MINING REG. © COPYRIGHT 2015 AREY CONSULTANTS LTD.	PROPOSED ACCESSWAY LONGITUDINAL SECTIONS	File No: 12035-1	Rev: A	Dwg. No.: 700
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